

**HORRY COUNTY HISTORIC PRESERVATION  
COMMISSION MEETING**

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**Monday, March 25, 2024 at 5:30 PM  
1301 Second Avenue  
Conway, SC 29526**

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**MEETING AGENDA**

**I. Call to Order**

**II. Invocation & Pledge of Allegiance**

**III. Public Input**

**IV. Minutes**

Approval of the Minutes from February 26, 2024

**V. Old Business**

- A. Special Tax Assessment – Spivey Building – PIN 368-04-02-0071
- B. Historic Markers
  - i. Hickory Grove

**VI. New Business**

- A. Legacy Business Ordinance
- B. Historic Preservation Award Nominations
- C. High School Video Contest

**VII. Commission Discussion**

**VIII. Announcements**

- A. Next Meeting – April 22, 2024
- B. South Carolina Historic Preservation Conference 2024 – April 26, 2024
- C. Budget Update

The HPC meets at 4:45 for refreshments before the meeting.

STATE OF SOUTH CAROLINA )  
 )  
COUNTY OF HORRY )

**Horry County Historic  
Preservation Commission Meeting  
Monday, February, 26 2024**

The Horry County Historic Preservation Commission met on Monday, February 26, 2024, at Horry County Government and Justice Center at 1301 2<sup>nd</sup> Avenue in Conway, SC. The following commissioners were present: Joel Carter, Lesta Sue Hardee, Susan Platt, Patricia Mallett, Lisa Kopro, Jamie Thompson, and Bill Strydesky. Staff present included Desiree Jackson, Rajiv Myana, and Lynn Strickland.

Commissioner not present: Heath Platt, Alan Todd, Chelsea Sanderson

Guest present: Robert Lewis and Fred Harris

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In accordance with the SCFOIA, notices of the public meeting were sent to the press (and other interested persons and organizations requesting notification) providing the agenda, date, time, and place of the meeting.

- I. Call to Order** – Chair Susan Platt called the meeting to order at approximately 5:30 pm. There was a quorum present.
- II. Invocation** – Jamie Thompkins led the invocation and the Pledge of Allegiance.
- III. Public Input** – None.
- IV. Approval of Minutes** –

**Historic Preservation Meeting- January 22, 2024**

With no corrections or additions to the minutes, Patricia Mallett made a motion to approve and Lesta Sue Hardee seconded. The motion to approve carried unanimously.

**V. New Business**

**A. Special Tax Assessment-Spivey Building**

Desiree Jackson briefed on the report. Susan Platt made motion to table until the March 25, 2024 meeting and Bill Strydesky seconded. After some discussion, a vote was taken. The motion to table was approved (4-3).

**B. Socastee United Methodist Church**

Desiree Jackson briefed on original request for demolition of the building which was withdrawn by the church. Fred Harris, Susan Platt, and a member of Socastee United Methodist Church, discussed the withdrawal of demolition request and intentions to restore the church building. Bill Singleton and Ricky Smith, members of Socastee United Methodist Church, both spoke in favor of

church restoration. Due to applicant withdrawing demolition request, no vote was taken.

**C. Historic Markers**

**i. Waccamaw Indian People Tribal Grounds**

Desiree Jackson briefed on text from State Historic Preservation Office (SHPO) for the Waccamaw Indian People Tribal Grounds marker. Cheryl Cail, of the Waccamaw Indian People, spoke on behalf of the tribe. She explained they were in favor. Lesta Sue Hardee made motion to approve and Patricia Mallett seconded. The motion to approve carried unanimously.

**ii. Hickory Grove**

Desiree Jackson briefed on text from State Historic Preservation Office (SHPO) for the Hickory Grove marker. Lesta Sue Hardee made motion to approve the text with the correction of a grammatical error and Patricia Mallett seconded. The motion to approve carried unanimously.

**iii. Green Sea**

Desiree Jackson briefed on the location concerns from State Historic Preservation Office (SHPO) for the Green Sea marker. Jamie Thompkins made motion to approve a new proposed location at the intersection of Hwy 410 and Mitchell Sea Rd and Bill Strydesky seconded. The motion to approve carried (5-2).

**VI. Commission Discussion**

**A. Legacy Business Recognition** – The board discussed the current requirements of the Legacy Business Recognition. Including names, locations, and operation dates. No vote was taken, discussion only.

**VII. Announcements**

High School Video Contest-12 submissions received for review. Board members were advised to review prior to March 25, 2024 meeting.

Next Meeting-March 25, 2024

**VIII. Adjourn** – With no further business, Lesta Sue Hardee made a motion to adjourn and Patricia Mallett seconded. The motion to approve carried unanimously. The meeting was adjourned at 7:00 PM.

## Horry County, South Carolina

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Date: February 26, 2024  
From: Planning and Zoning  
Division: Infrastructure and Regulation  
Prepared By: Desiree Jackson, Senior Planner  
Cleared By: Rajiv Myana, Principal Planner  
Regarding: Preliminary Special Tax Assessment for Rehabilitated Property,  
PIN # 368-04-02-0071

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### **ISSUE:**

Should the HPC grant final certification for the construction and rehabilitation for the Spivey Building at 1028 3<sup>rd</sup> Avenue, Conway under Chapter 19, Section 19-7 of the Horry County Code of Ordinances?

### **PROPOSED ACTION:**

Vote on final certification for the construction and rehabilitation on the Spivey Building at 1028 3<sup>rd</sup> Avenue, Conway, SC.

### **BACKGROUND:**

The applicant proposed to rehabilitate the Spivey Building at 1028 3<sup>rd</sup> Avenue, Conway. The Horry County Year Built Parcel Data identifies 1926 as the year this building was constructed. This property is in Conway's Downtown Historic District and fair market value at the time of application per Horry County Tax Assessor's Office is \$148,600.00. Per Ordinance 106-07, minimum expenditures of 25% of the fair market value, \$37,150.00 must occur within a two-year period. The rehabilitation work includes the following elements:

1. Exterior Brick
2. Exterior Granite
3. Windows
4. Storefronts
5. Exterior Doors
6. Roof
7. Interior Public Space

### **ANALYSIS:**

Preliminary Certification was issued on September 21, 2021 with the following conditions:

1. Both the granite block and limestone will not be painted and any replacement of granite, limestone or mortar will match what is currently there.
2. If the decision is to have the paint removed from the exterior brick, then the mortar must match the color, texture, strength, joint width and joint profile of the existing historic



masonry. Techniques used to remove existing mortar and paint must not damage the masonry units.

3. If any significant masonry need to be replaced, the applicant must submit plans for replacement to the Commission prior to installation of the new masonry.
4. This approval does not extend to work not submitted.

The applicant received Certification of Completed Work from the National Park Service (NPS) on 5/23/2023. NPS found “the completed rehabilitation meets the Secretary of Interior’s Standards for Rehabilitation and is consistent with the historic character of the property and, where applicable the district in which it is located.”

In addition, applicant has met the required minimum expenditure of \$37,150 which was 25% of the fair market value.

# Special Tax Assessment – Spivey Building

1028 3<sup>rd</sup> Avenue, Conway, PIN # 368-04-02-0071

September 2021 Preliminary Certification



Photo 2 – South façade storefront with granite border



Location of Spivey Building

Spivey Building  
1028 Third Ave. Conway, SC  
Part II Photographs – 4/6/2021; 5/12/2021  
Conway Downtown Historic District



Photo 1 – South façade

# Special Tax Assessment – Spivey Building

1028 3<sup>rd</sup> Avenue, Conway, PIN # 368-04-02-0071

February 2024 Final Certification



Photo 2 – Southwest oblique



Location of Spivey Building

Spivey Building  
1028 Third Ave. Conway, SC  
Part III Photographs – 1/30/2023, 3/16/2023  
Conway Downtown Historic District



Photo 1- South façade



# Special Tax Assessment – Spivey Building - 2021



Photo 4 – Storefront entrance with beadboard ceiling, looking east



Photo 5 – Storefront with "1936" engraved in granite storefront "cornice"



Photo 3 – Southwest oblique

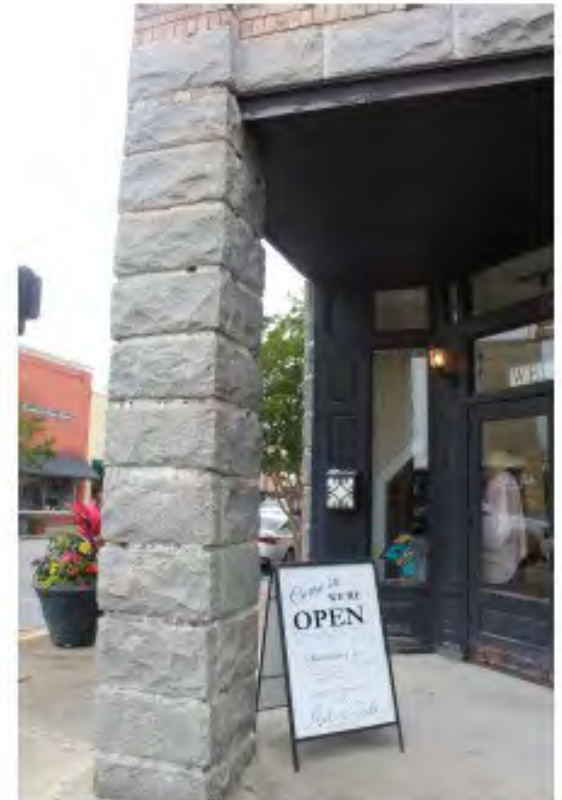


Photo 6 – Rusticated granite pillar at southwest corner of building

Photos taken 4/6/2021 & 5/12/2021

# Special Tax Assessment – Spivey Building - 2024



Photo 4 – Storefront entrance with beadboard ceiling, looking east



Photo 5 – Storefront with "1936" engraved in granite storefront "cornice"



Photo 6 – Rusticated granite pillar at southwest corner of building



Photo 3 – South façade storefront with granite border



# Special Tax Assessment – Spivey Building - 2021

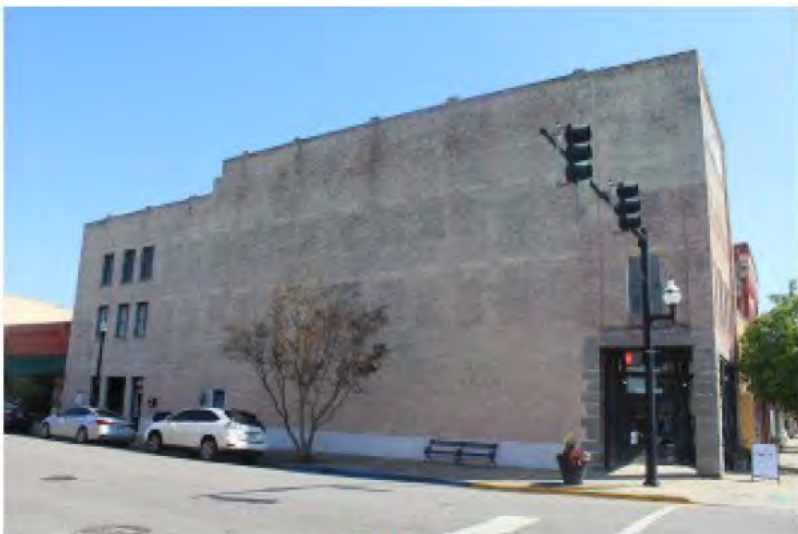


Photo 7 – West elevation



Photo 9 – Southernmost bay of west elevation reading as an extension of storefront



Photo 8 – Window scarring on west elevation



Photo 10 – Rear, Laurel Street storefront at northwest corner

Photos taken 4/6/2021 & 5/12/2021

# Special Tax Assessment – Spivey Building - 2024



Photo 7 – West elevation



Photo 9 – Southernmost bay of west elevation reading as extension of storefront



Photo 10 – Rear Laurel Street storefront at northwest corner



# Special Tax Assessment – Spivey Building - 2021



Photo 11 – Scarring between Laurel St. storefront and six-panel door, west elevation looking south



Photo 13 – Scarring in northernmost bay of west elevation



Photo 12 – Storefront at Laurel Street



Photo 14 – Stucco water table on west elevation

Photos taken 4/6/2021 & 5/12/2021



# Special Tax Assessment – Spivey Building - 2024



Photo 11 – Restored storefront windows and door, west elevation



Photo 12 – Storefront at Laurel Street



Photo 14 – Stucco water table on west elevation

# Special Tax Assessment – Spivey Building - 2021



Photo 15 – Northwest oblique



Photo 17 – East elevation and stepped parapet



Photo 19 – Roof, looking north



Photo 16 – Window scarring on north elevation



Photo 18 – Roof, looking south



Photo 20 – Roof detail at southwest corner, looking southwest



# Special Tax Assessment – Spivey Building - 2024



Photo 15 – Northwest oblique



Photo 17 – East elevation with stepped parapet and



Photo 19 – Rooftop HVAC units, looking west



Photo 16 – Restored windows on north elevation



Photo 18 – Northeast oblique with rooftop HVAC units



Photo 20 – Parapet detail

# Special Tax Assessment – Spivey Building - 2021



Photo 21 – Commercial space at south façade entrance, looking north

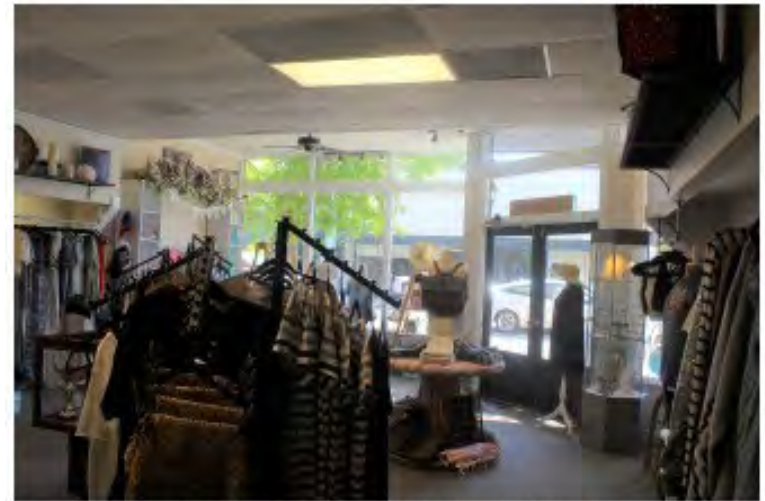


Photo 23 – First floor commercial space, looking south



Photo 22 – Southern commercial space, looking east; acoustical ceiling tiles



Photo 24 – First floor commercial work space, looking northwest

Photos taken 4/6/2021 & 5/12/2021



# Special Tax Assessment – Spivey Building - 2024



Photo 21 – Commercial space at south façade entrance, looking north



Photo 22 – Southern commercial space, looking east with restored tin ceiling

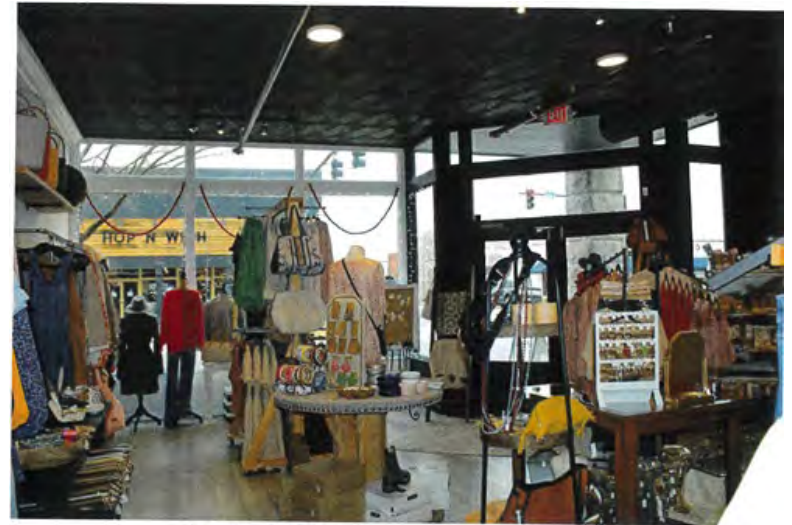


Photo 23 – First floor commercial space, looking south

# Special Tax Assessment – Spivey Building - 2021



Photo 25 – First floor commercial space corridor, looking north



Photo 26 – First floor office space at rear of commercial space



Photo 27 – Change in flooring at central stair

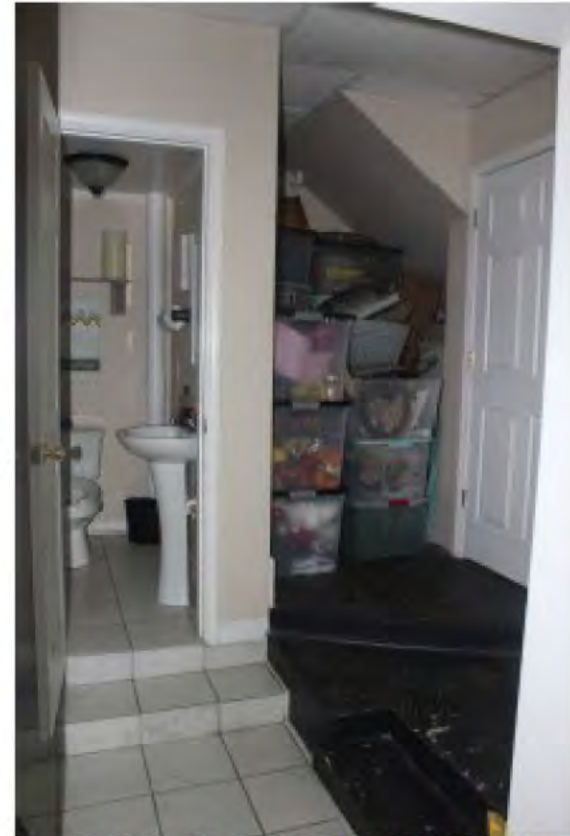


Photo 28 – Bathroom and stairwell at center of building

Photos taken 4/6/2021 & 5/12/2021



# Special Tax Assessment – Spivey Building - 2024



Photo 25 – Door to former corridor, first floor commercial space, looking north



Photo 24 – First floor commercial work space, looking north

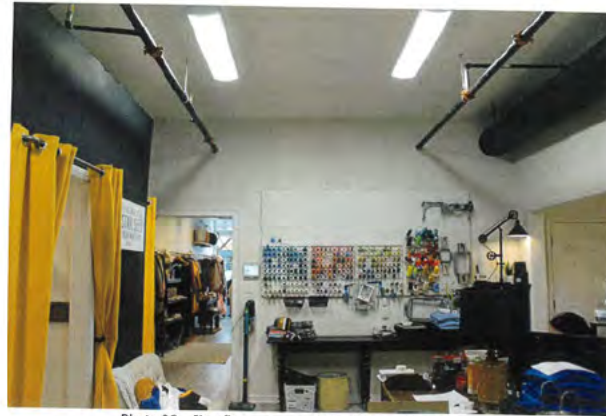


Photo 26 – First floor commercial work space, looking south

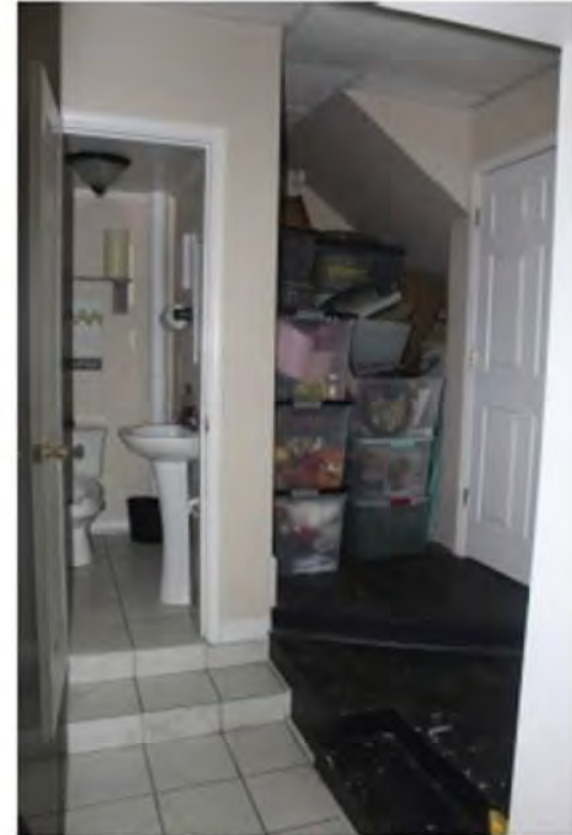
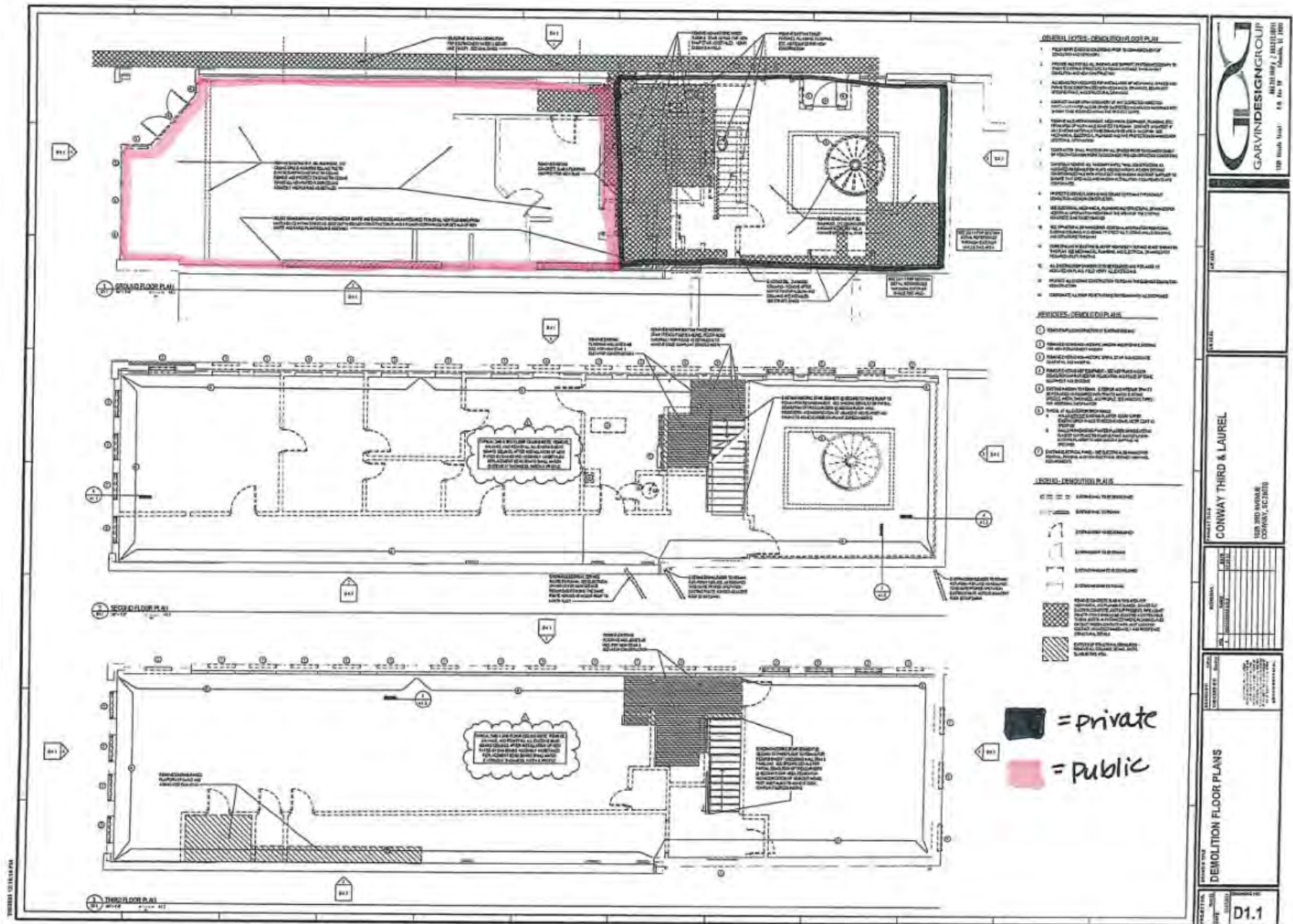


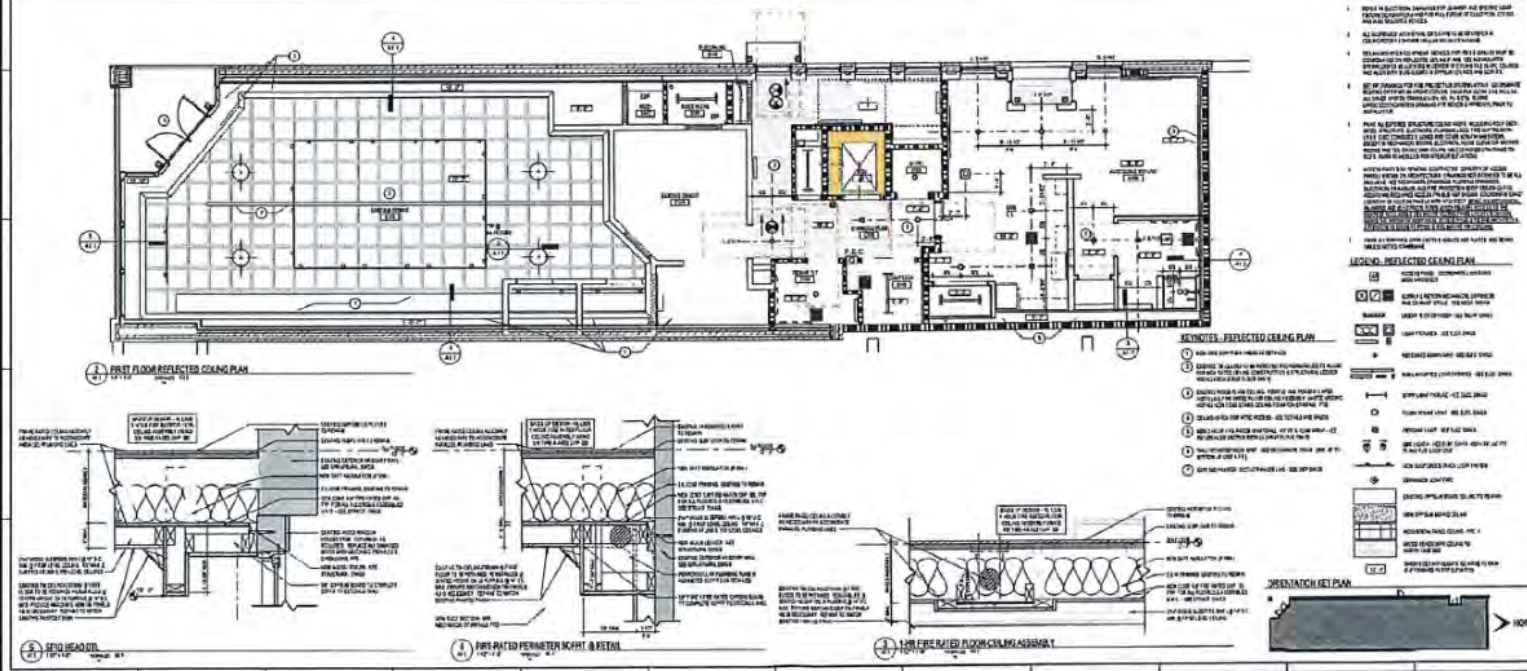
Photo 28 – Bathroom and stairwell at center of building

# Special Tax Assessment – Spivey Building





**GG**  
**GARVINDESIGNGROUP**  
1239 144th Street P.O. Box 18 Columbia, SC 29922  
803.732.3229 / 803.732.1811



**CONWAY THIRD & LAUREL**

1600 2ND AVENUE  
CONWAY, SC 29538

**FIRST FLOOR PLAN AND  
REFLECTED CEILING PLAN**

## A1.1

# Special Tax Assessment – Spivey Building

THIRD & LAUREL  
CONWAY, SOUTH CAROLINA

## COMMON AREA FINISHES



**STAIR CHANDELIER**  
HINKLEY LIGHTING  
CLANCY 3 LIGHT URN PENDANT  
MODEL: 3033PN



**CORRIDOR SCONCE**  
HINKLEY LIGHTING  
ADA WALL SCONCE  
MODEL: 14011BN



**FLOOR TILE**  
GARDEN STATE TILE  
"MULTIPLIER" BY CROSSVILLE \$5.15/SF  
WHITE PENNYROUND, 3/4"X3/4"  
DARK GRAY PENNYROUND, 3/4"X3/4" BORDER



**GENERAL WALL COLOR**  
SW#7004  
SNOWBOUND



**TRIM**  
SW#7006  
EXTRA WHITE



**DOORS**  
SW#6220  
INTERESTING AQUA

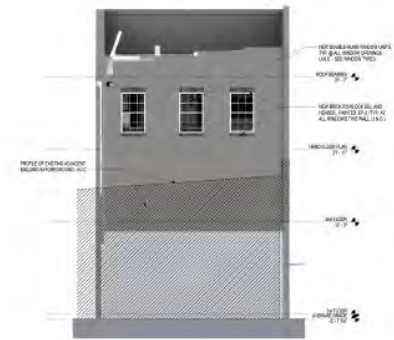
# Special Tax Assessment – Spivey Building

THIRD & LAUREL  
CONWAY, SOUTH CAROLINA

## BUILDING ELEVATIONS



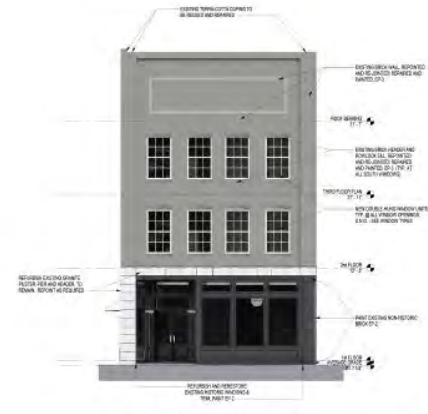
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION





# Special Tax Assessment – Spivey Building

THIRD & LAUREL  
CONWAY, SOUTH CAROLINA

STREET VIEW



EXTERIOR BRICK COLOR  
SW#7067  
CITYSCAPE



Photo 96 – Original appearance of building, c.1940, courtesy of City of Conway

# Special Tax Assessment – Spivey Building

## Historic Photographs



Photo 96 – Original appearance of building, c.1940, courtesy of City of Conway





## Application

### for Final Certification of a Rehabilitated Historic Property Special Tax Assessment



Application must be complete and include all required support materials and \$250 fee to be considered for review. All expenses MUST have occurred within a two year period from the date on the Preliminary Certification to be included towards the 25% minimum necessary for the tax assessment.

#### Property Information

Property Address 1028 Third Avenue City Conway S.C.  
Case Number (located on the Preliminary Certification at the top of the page) 01-B-21  
Owner(s) Third Laurel LLC  
Owners Address [REDACTED] City [REDACTED] State S.C.  
Project Contact: [REDACTED] Contact Daytime Phone Number: [REDACTED]  
Contact email: [REDACTED]

**STOP** - If you received an extension, you do not need to fill out the Rehabilitation Expense List. Qualifying expenses have been met with the extension review. Go to Photographs Section.

#### Rehabilitation Expense List

**PLEASE PRINT IN INK OR TYPE THE INFORMATION THAT YOU PROVIDE.**

You may be asked to submit receipts for the allowable expenses as described on the preliminary certification application. Rehabilitation expenses do not include the cost of acquiring or marketing the property, the value of the owner's personal labor, the cost of personal property, or other items shown as non-contributing on page 3 of the preliminary certification application.

1. Preservation and rehabilitation work done to the exterior of a historic structure

Roof	\$
Exterior Walls	\$
Windows & Doors	\$
Porches	\$
Foundations	\$
Restoration of documented historical architectural features	\$
Total Section 1 \$	
  2. Repair and stabilization of historic structural systems  
Structural repair and stabilization of all historic structural elements exclusive of interior finishes  

See Attached Section 2 \$
  3. Restoration of historic plaster  
Work done on historic plaster, including repair of historic plaster where it was a documented historic finish, use of wood or metal lath, documented decorative or flat plaster features  

See Attached Section 3 \$
  4. Energy efficiency measures  
Insulation, interior or exterior storm windows, storm doors, weather stripping  

See Attached Section 4 \$
  5. Repairs or rehabilitation of heating, air-conditioning, or ventilation systems  
Repairs to existing or installation of new HVAC systems, flue-liners in historic chimneys  

See Attached Section 5 \$
- Total page 1 \$



**Rehabilitation Expense List continued****PLEASE PRINT IN INK OR TYPE THE INFORMATION THAT YOU PROVIDE.**

You may be asked to submit receipts for the allowable expenses as described on the preliminary certification application

*See Attached*

Total from page 1 \$ \_\_\_\_\_

6. Repairs or rehabilitation of electrical or plumbing systems, exclusive of new electrical appliances and electrical or plumbing fixtures

*See Attached*

Section 6 \$ \_\_\_\_\_

7. Architectural and Engineering fees except fees attributable to new construction beyond the volume of the existing building

*See Attached*

Section 7 \$ \_\_\_\_\_

8. Additional expenses used to meet the 25% expenditures

*See Attached*

Section 8 \$ \_\_\_\_\_

9. Additional eligible items (explain)



Total Section 9 \$ \_\_\_\_\_

Total Expenditures \$ Same**Photographs**

Submit photographs of the completed work; both exterior and interior views. Photographs should be in color, no more than two (2) per 8.5" x 11" sheet. A minimum of one (1) for each block on the Detailed Summary of Rehabilitation Work Sheets A and B, detailed description sheets. . However, to fully encompass rehabilitation work, more than one (1) photo may be required per block. (Photos should clearly show not only the areas that were rehabilitated, but also overall views of the building. Views of adjacent sites not required with the final submittal.) Contact Planning and Zoning at 843-915-5340 if a copy of A or B sheets are needed.

**Property Owner(s) Signature**

I hereby apply for Final Certification of rehabilitation work I hereby attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the work is consistent with information described in the Preliminary Certification Application and any Amendments and meets the Secretary of the Interior's Standards for Rehabilitation. I also attest that I own the property described on this form. I understand that falsification of factual representation in this application may disqualify the property for the tax credit and any monies not collected by the County must be returned to the County. Original signatures are required.

*Thind & Laurel LLC*

Print Name (or LLC or Corporation)

*Robert B. Lewis - Managing Member*

Signature

*11/30/2023*

Date

Print Name (or LLC or Corporation)

Signature

Date



**Preliminary Certification**  
for a Rehabilitated Historic  
Property Special Tax Assessment  
Horry County, South Carolina



We, the Historic Preservation Commission, having been vested with the authority and responsibility to determine and approve applications under Horry County Code of Ordinances Number 106-07, hereby grant preliminary approval to:

Owner(s) Third & Laurel, LLC

Building Spivey Building

Property Address 1203 Third Ave. City Conway

Case Number 01-8-21 PIN Number 368-04-02-0071

Project Contact: Janie Campbell Contact Daytime Phone Number: [REDACTED]

Contact email: [REDACTED]

Applicant is charged with following all duties and requirements of said Ordinance and conditions as set forth by the Historical Preservation Commission. Failure to comply may result in the decertification of this request.

Preliminary Certification granted this 21st day of September 2021.

**Approval Status**

☐ The application as received, has been approved by the Historic Preservation Commission.

☒ The application, has been approved by the Historic Preservation Commission with the following modification(s) per the Historic Preservation Commission;

1. Both the granite block and limestone will not be painted and any replacement of granite, limestone or mortar will match what is currently there.
2. If the decision is to have the paint removed from the exterior brick, then the mortar must match the color, texture, strength, joint width and joint profile of the existing historic masonry. Techniques used to remove existing mortar and paint must not damage the masonry units.
3. If any significant masonry need to be replaced, the applicant must submit plans for replacement to the Commission prior to installation of the new masonry.
4. This approval does not extend to work not submitted.

James B. Thompson III  
Chair, Historic Preservation Commission

Lon Cahlin  
Attest: Staff Liaison



# EXHIBIT A

NPS Form 10-168c (Rev. 2019)

National Park Service  
OMB Control No. 1024-0009HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 3 - REQUEST FOR CERTIFICATION OF COMPLETED WORK

APR 24 2023

NATIONAL PARK SERVICE

Instructions: This page requires the applicant's original signature and must be dated.

NPS Project Number  
434641. Historic Property Name Spivey BuildingStreet 1028 Third AvenueCity ConwayCounty HorryState SCZip 29526Is property a certified historic structure? ☒ Yes ☐ No If yes, date of NPS certification 06/25/2021 OR date of National Register listing \_\_\_\_\_

## 2. Project Data

Project start date 01/04/2022Project completed and building placed in service date 12/31/2022

Estimated rehabilitation costs (QRE) \_\_\_\_\_

Total estimated costs (QRE plus non-QRE) \_\_\_\_\_

Number of housing units before/after rehabilitation 0 / 8Number of low-moderate housing units before/after rehabilitation 0 / 0

## 3. Project Contact (if different from applicant)

Name Janie CampbellCompany Rogers Lewis Jackson Mann & Quinn, LLC

Street \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email Address \_\_\_\_\_

## 4. Applicant (List all additional owners on next page.)

I hereby attest that the information I have provided is, to the best of my knowledge, correct and that I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years. Additionally:

- ☐ If I am not the fee simple owner of the above described property, I have checked this box to attest that the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which statement (a) either is attached to this application form and incorporated herein, or has been previously submitted, and (b) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
- ☐ Applicant, SSN, or TIN has changed since previously submitted application.
- ☐ There are no additional owners within the meaning of "owner" set forth in 36 CFR § 67.2 (2011).

Name Robert B. Lewis

Signature (Sign in ink) \_\_\_\_\_

Date 03/21/2023Applicant Entity Third & Laurel, LLC

SSN \_\_\_\_\_

or TIN \_\_\_\_\_

Street \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email Address \_\_\_\_\_

## NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Request for Certification of Completed Work (Part 3) for this property and has determined that:

- ☒ the completed rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation and is consistent with the historic character of the property and, where applicable, the district in which it is located. Effective the date indicated below, the rehabilitation of the "certified historic structure" is hereby designated a "certified rehabilitation." This certification is to be used in conjunction with appropriate Internal Revenue Service regulations. Questions concerning specific tax consequences or interpretations of the Internal Revenue Code should be addressed to the Internal Revenue Service. Completed projects may be inspected by an authorized representative of the Secretary to determine if the work meets the Standards for Rehabilitation. The Secretary reserves the right to make inspections at any time up to five years after completion of the rehabilitation and to revoke certification, if it is determined that the rehabilitation project was not undertaken as presented by the owner in the application form and supporting documentation, or the owner, upon obtaining certification, undertook unapproved further alterations as part of the rehabilitation project inconsistent with the Secretary's Standards for Rehabilitation.
- ☐ the completed rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. However, because this property is not yet a "certified historic structure," the rehabilitation cannot be designated a "certified rehabilitation" eligible for Federal tax credits at this time. The property will become a "certified historic structure" on the date it or the historic district in which it is located is listed in the National Register of Historic Places. On that date, the completed rehabilitation will automatically become a "certified rehabilitation." It is the owner's responsibility to obtain such listing through the State Historic Preservation Office. Questions concerning specific tax consequences or interpretations of the Internal Revenue Code should be addressed to the Internal Revenue Service. Completed projects may be inspected by an authorized representative of the Secretary to determine if the work meets the Standards for Rehabilitation. The Secretary reserves the right to make inspections at any time up to five years after completion of the rehabilitation and to revoke certification, if it is determined that the rehabilitation project was not undertaken as presented by the owner in the application form and supporting documentation, or the owner, upon obtaining certification, undertook unapproved further alterations as part of the rehabilitation project inconsistent with the Secretary's Standards for Rehabilitation.
- ☐ the rehabilitation is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

A copy of this determination will be provided to the Internal Revenue Service in accordance with Federal law.

Date

National Park Service Authorized Signature (Sign in ink)

☐ NPS Comments Attached

# EXHIBIT B





HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 3 – REQUEST FOR CERTIFICATION OF COMPLETED WORK

Instructions: This page must bear the applicant's original signature and must be dated.	NPS Project Number 43464
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1. Historic Property Name Spivey Building

Street 1028 Third Avenue

City Conway

County Horry

State SC

Zip 29526

Is property a certified historic structure? ☒ Yes ☐ No If yes, date of NPS certification 06/25/2021 OR date of National Register listing \_\_\_\_\_

2. Project Data

Project start date 01/04/2022

Project completed and building placed in service date 12/31/2022

Estimated rehabilitation costs (QRE) \_\_\_\_\_

Total estimated costs (QRE plus non-QRE) \_\_\_\_\_

Number of housing units before/after rehabilitation 0 / 8

Number of low-moderate housing units before/after rehabilitation 0 / 0

3. Project Contact (if different from applicant)

Name Janie Campbell

Company Rogers Lewis Jackson Mann & Quinn, LLC

Street \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email Address \_\_\_\_\_

4. Applicant (List all additional owners on next page.)

I hereby attest that the information I have provided is, to the best of my knowledge, correct and that I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years. Additionally:

- ☐ If I am not the fee simple owner of the above described property, I have checked this box to attest that the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which statement (a) either is attached to this application form and incorporated herein, or has been previously submitted, and (b) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
- ☐ Applicant, SSN, or TIN has changed since previously submitted application.
- ☐ There are no additional owners within the meaning of "owner" set forth in 36 CFR § 67.2 (2011).

Name Robert B. Lewis

Signature (Sign in Ink) \_\_\_\_\_

Date 03/21/2023

Applicant Entity Third & Laurel, LLC

SSN \_\_\_\_\_

or TIN \_\_\_\_\_

Street \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email Address \_\_\_\_\_

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Request for Certification of Completed Work (Part 3) for this property and has determined that:

- ☐ the completed rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation and is consistent with the historic character of the property and, where applicable, the district in which it is located. Effective the date indicated below, the rehabilitation of the "certified historic structure" is hereby designated a "certified rehabilitation." This certification is to be used in conjunction with appropriate Internal Revenue Service regulations. Questions concerning specific tax consequences or interpretations of the Internal Revenue Code should be addressed to the Internal Revenue Service. Completed projects may be inspected by an authorized representative of the Secretary to determine if the work meets the Standards for Rehabilitation. The Secretary reserves the right to make inspections at any time up to five years after completion of the rehabilitation and to revoke certification, if it is determined that the rehabilitation project was not undertaken as presented by the owner in the application form and supporting documentation, or the owner, upon obtaining certification, undertook unapproved further alterations as part of the rehabilitation project inconsistent with the Secretary's Standards for Rehabilitation.
- ☐ the completed rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. However, because this property is not yet a "certified historic structure," the rehabilitation cannot be designated a "certified rehabilitation" eligible for Federal tax credits at this time. The property will become a "certified historic structure" on the date it or the historic district in which it is located is listed in the National Register of Historic Places. On that date, the completed rehabilitation will automatically become a "certified rehabilitation." It is the owner's responsibility to obtain such listing through the State Historic Preservation Office. Questions concerning specific tax consequences or interpretations of the Internal Revenue Code should be addressed to the Internal Revenue Service. Completed projects may be inspected by an authorized representative of the Secretary to determine if the work meets the Standards for Rehabilitation. The Secretary reserves the right to make inspections at any time up to five years after completion of the rehabilitation and to revoke certification, if it is determined that the rehabilitation project was not undertaken as presented by the owner in the application form and supporting documentation, or the owner, upon obtaining certification, undertook unapproved further alterations as part of the rehabilitation project inconsistent with the Secretary's Standards for Rehabilitation.
- ☐ the rehabilitation is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

A copy of this determination will be provided to the Internal Revenue Service in accordance with Federal law.

Date \_\_\_\_\_

National Park Service Authorized Signature (Sign in ink) \_\_\_\_\_

☐ NPS Comments Attached

Spivey Building  
1028 Third Ave. Conway, SC  
Part III Photographs – 1/30/2023, 3/16/2023  
Conway Downtown Historic District



Photo 1- South façade





Photo 2 – Southwest oblique



Photo 3 – South façade storefront with granite border





Photo 4 – Storefront entrance with beadboard ceiling, looking east



Photo 5 – Storefront with "1936" engraved in granite storefront "cornice"





Photo 6 – Rusticated granite pillar at southwest corner of building



Photo 7 – West elevation





Photo 8 – Restored windows on west elevation



Photo 9 – Southernmost bay of west elevation reading as extension of storefront





Photo 10 – Rear Laurel Street storefront at northwest corner



Photo 11 – Restored storefront windows and door, west elevation



Photo 12 – Storefront at Laurel Street





Photo 13 – Restored in northernmost bay of west elevation

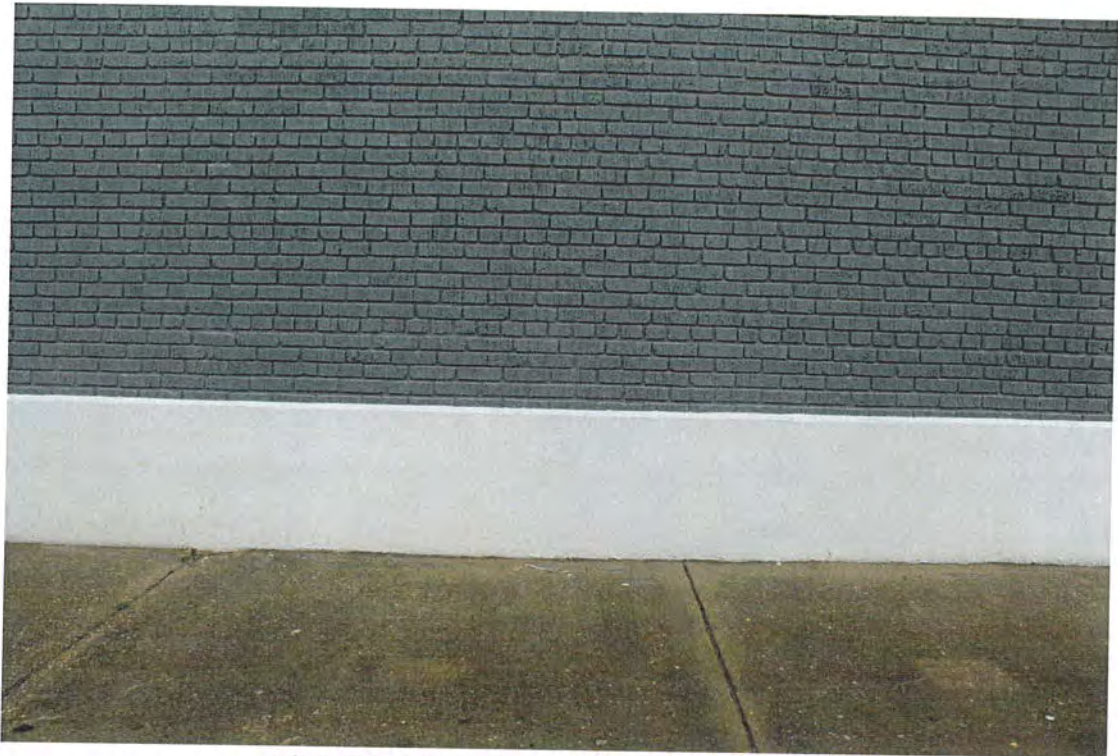


Photo 14 – Stucco water table on west elevation



Photo 15 – Northwest oblique





Photo 16 – Restored windows on north elevation



Photo 17 – East elevation with stepped parapet and



Photo 18 – Northeast oblique with rooftop HVAC units



Photo 19 – Rooftop HVAC units, looking west





Photo 20 – Parapet detail



Photo 21 – Commercial space at south façade entrance, looking north





Photo 22 – Southern commercial space, looking east with restored tin ceiling



Photo 23 – First floor commercial space, looking south



Photo 24 – First floor commercial work space, looking north





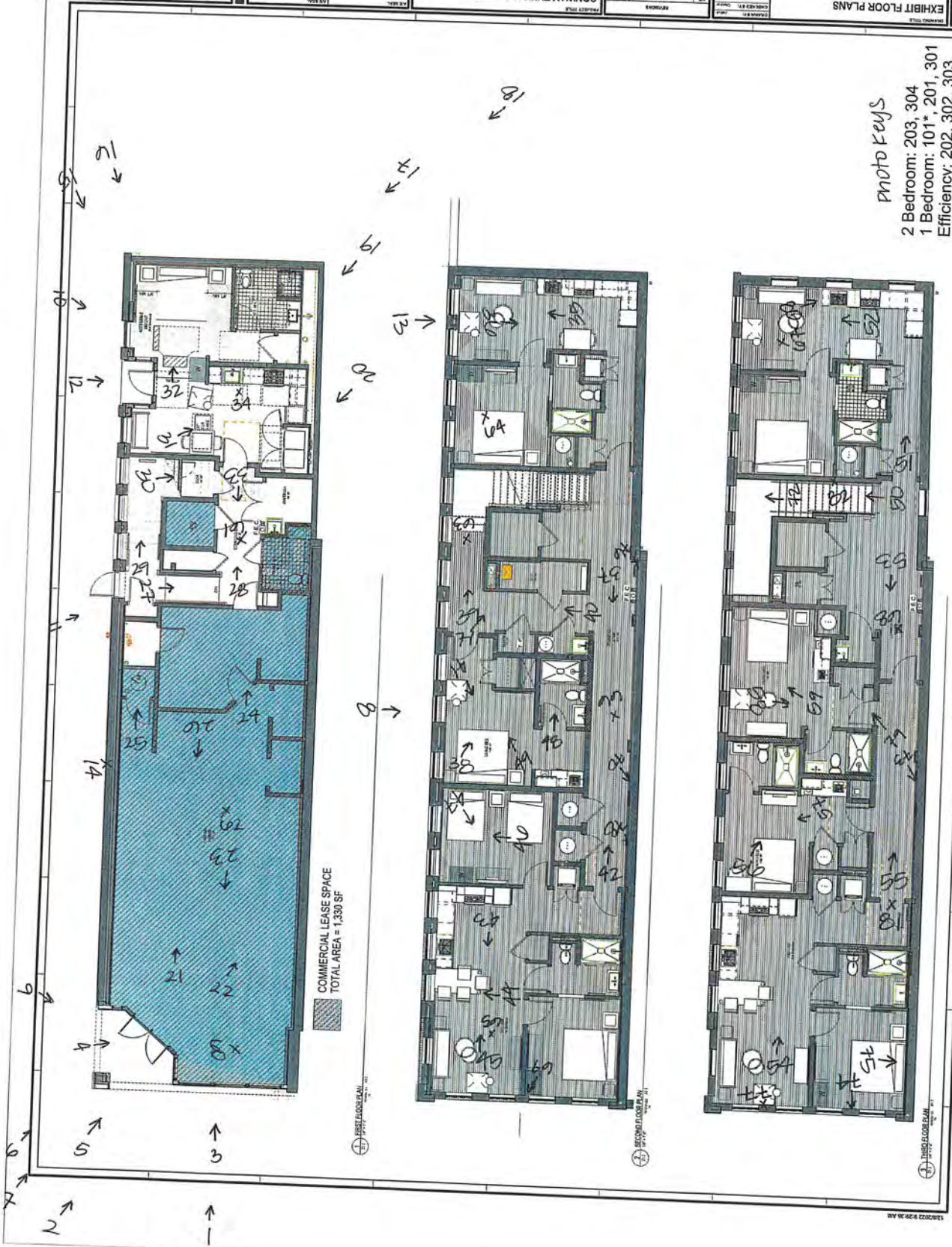
Photo 25 – Door to former corridor, first floor commercial space, looking north



Photo 26 – First floor commercial work space, looking south



**photo keys**  
 2 Bedroom: 203, 304  
 1 Bedroom: 101\*, 201, 301  
 Efficiency: 202, 302, 303  
 \*ADA Accessible



12/20/2022 9:29:30 AM



## Horry County, South Carolina

---

Date: September 21, 2021  
From: Planning and Zoning  
Division: Infrastructure and Regulation  
Prepared By: Lou Conklin, Senior Planner  
Cleared By: Leigh Kane, Deputy Director  
Regarding: Preliminary Special Tax Assessment for Rehabilitated Property,  
PIN # 368-04-02-0071

---

### **ISSUE:**

Should the HPC grant historic designation and preliminary certification to the construction and rehabilitation for the Spivey Building at 1028 3<sup>rd</sup> Avenue, Conway under Chapter 19, Section 19-7 of the Horry County Code of Ordinances?

### **PROPOSED ACTION:**

Vote on historic designation and preliminary certification for the construction and rehabilitation of the Spivey Building at 1028 3<sup>rd</sup> Avenue, Conway, SC.

### **BACKGROUND:**

Chapter 19, Section 19-7 of the Horry County Code of Ordinances provides for a special tax assessment for eligible rehabilitated historic properties. This special assessment creates an incentive for the rehabilitation of historic parcels by freezing the tax assessments at pre-rehabilitation levels for up to 15 years. This prevents a property owner from being penalized for improving the value of a historic property.

An applicant under Section 19-7 must meet the following conditions:

1. The owner of the property applies for and is granted Historic Designation by Horry County Council; and
2. The proposed rehabilitation receives approval of rehabilitation work from the HPC, using the Secretary of the Interior Standards of Historic Preservation; and,
3. The owner of the property will be expending a minimum of 25% of the fair market value of the building during the rehabilitation project.

Provided that an applicant meets the three above requirements, the HPC may grant preliminary approval to the project, which will temporarily trigger the tax assessment freeze on the property. The applicant then has two years to complete the project and meet the requirements previously mentioned, at which time the HPC may grant final certification of the project. If the project is not completed after two years, but the minimum expenditures for rehabilitation have been incurred, the property continues to receive the special assessment until the project is completed, but not for more than five years from the preliminary certification date.

## **ANALYSIS:**

The applicant proposed to rehabilitate the Spivey Building at 1028 3<sup>rd</sup> Avenue, Conway. The Horry County Year Built Parcel Data identifies 1926 as the year this building was constructed. This property is in Conway's Downtown Historic District and fair market value at the time of application per Horry County Tax Assessor's Office is \$148,600.00. Per Ordinance 106-07, minimum expenditures of 25% of the fair market value, \$37,150.00 must occur within a two-year period. The rehabilitation work includes the following elements:

1. Exterior Brick
2. Exterior Granite
3. Windows
4. Storefronts
5. Exterior Doors
6. Roof
7. Interior Public Space

Applicant currently has no information about new signage for the building. Mr. Thompson and Mrs. Conklin conducted a site visit on September 9, 2021. The City of Conway Community Appearance Board granted preliminary approval of the special tax assessment as presented on September 8, 2021. However, the standard condition if any changes are made they will need to be approved by the CAB was given. Approval with the following conditions was given from the National Park Service on September 13, 2021;

The National Park Service (NPS) has completed the review of your Historic Preservation Certification Application - Part 2 and has determined that the proposed rehabilitation project described in the submitted documentation will meet the Secretary of the Interior's Standards for Rehabilitation, provided that the following conditions are met:

1. Repointing mortar must match the color, texture, strength, joint width and joint profile of the existing historic masonry. Techniques used to remove existing mortar must not damage the masonry units. Specifications and repointing samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work.
2. The process proposed for preparing the exterior masonry for repainting must not damage or substantially alter the physical characteristics of the masonry surfaces.
3. This approval does not extend to work not submitted, such as signage, details of which have not been submitted for review and approval to the State Historic Preservation Office and this office. Federal regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the overall project with the Secretary's Standards.



**Conklin, Lou**

---

**From:** Robert Lewis  
**Sent:** Monday, September 13, 2021 6:29 PM  
**To:** Chris Rogers; Will Brennan; Athena Leventis; Matthew Egerstrom; Philip Minden; pat.blassie@sterbank.com; Kyle Breda; David Renaker; Conklin, Lou; Jessica Hucks  
**Subject:** Fwd: Spivey Building, Part 2 decision

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please see the Part 2 Approval received from NPS today for the Spivey Building. Thanks. Robert

Sent from my iPhone

Begin forwarded message:

**From:** "Aguilar, Antonio" <  
**Date:** September 13, 2021 at 5:04:06 PM EDT  
**To:** Robert Lewis <  
**Cc:** Janie Campbell <, Dan Elswick <

**Subject: Spivey Building, Part 2 decision**

September 13, 2021

**PROPERTY: Spivey Building, 1028 Third Avenue, Conway, SC**  
**PROJECT NUMBER: 43464**  
**APPLICATION: Part 2**  
**DECISION: Conditional Approval**

Dear Mr. Lewis:

The National Park Service (NPS) has completed the review of your Historic Preservation Certification Application - Part 2 and has determined that the proposed rehabilitation project described in the submitted documentation will meet the Secretary of the Interior's Standards for Rehabilitation, provided that the following conditions are met:

1. Repointing mortar must match the color, texture, strength, joint width and joint profile of the existing historic masonry. Techniques used to remove existing mortar must not damage the masonry units. Specifications and repointing samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work.

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**Due to the ongoing public health emergency, NPS Technical Preservation Services staff are currently teleworking from home. This notice of decision is a copy solely for notice to the applicant. An officially signed application decision (dated with today's date) will be mailed to you as soon as possible, but please anticipate that there may be up to a 1-to-2-week delay.**

**Antonio Aguilar**

Historical Architect

Technical Preservation Services

National Park Service

[REDACTED]  
[REDACTED]

<http://www.nps.gov/tps/> website

*TPS Operations in Response to COVID-19: The TPS office remains open, with TPS staff primarily teleworking from home at this time. The review of tax incentive applications continues (including Part 1 applications and appeals), mail continues to be received and sent out, and staff remains reachable by email and phone. For the most recent information on TPS operations, see the "Update" page on our website.*

\*\*\*\*

All e-mail correspondence to and from this address may be subject to public disclosure under the South Carolina Freedom of Information Act (FOIA). This correspondence is intended exclusively for the individual or entity to which it is addressed and may contain information that is proprietary, privileged, confidential or otherwise legally exempt from disclosure.



# Special Tax Assessment – Spivey Building 1028 3<sup>rd</sup> Avenue, Conway, PIN# 368-04-02-0071

Spivey Building  
1028 Third Ave. Conway, SC  
Part II Photographs – 4/6/2021; 5/12/2021  
Conway Downtown Historic District



Photo 2 – South facade storefront with granite border



Photo 1 – South facade



Location of Spivey Building

# Special Tax Assessment – Spivey Building



Photo 4 – Storefront entrance with beadboard ceiling, looking east



Photo 3 – Storefront with "1938" engraved in granite storefront "cornice"



Photo 3 – Southwest oblique



Photo 6 – Rusticated granite pillar at southwest corner of building



# Special Tax Assessment – Spivey Building



Photo 7 – West elevation



Photo 9 – Southernmost bay of west elevation reading as an extension of storefront



Photo 8 – Window scarring on west elevation



Photo 10 – Rear, Laurel Street storefront at northwest corner

# Special Tax Assessment – Spivey Building



Photo 11 – Scarring between Laurel St. storefront and six-panel door, west elevation looking south



Photo 12 – Storefront at Laurel Street



Photo 13 – Scarring in northernmost bay of west elevation



Photo 14 – Stucco water table on west elevation



# Special Tax Assessment – Spivey Building



Photo 13 – Northwest oblique



Photo 17 – East elevation and stepped parapet



Photo 19 – Roof, looking north



Photo 16 – Window scarring on north elevation



Photo 18 – Roof, looking south



Photo 20 – Roof detail at southwest corner, looking southwest

# Special Tax Assessment – Spivey Building

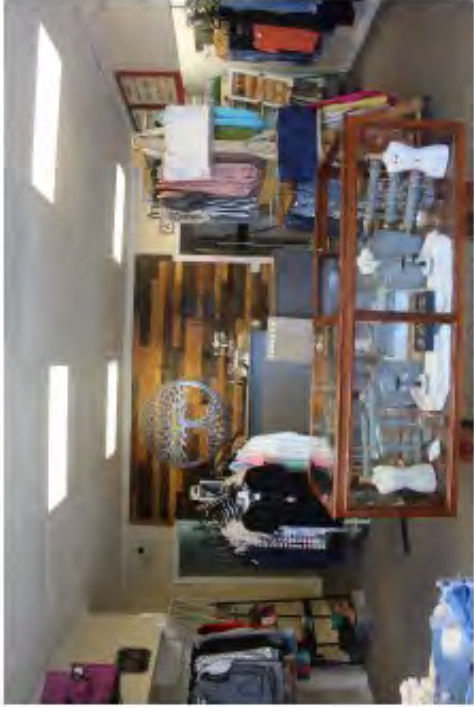


Photo 21 – Commercial space at south facade entrance, looking north

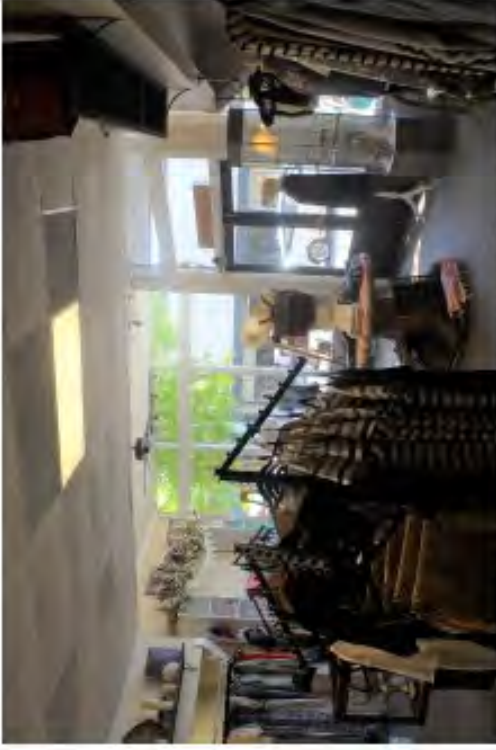


Photo 23 – First floor commercial space, looking south



Photo 22 – Southern commercial space, looking east; acoustical ceiling tiles



Photo 24 – First floor commercial work space, looking northwest



# Special Tax Assessment – Spivey Building



Photo 25 – First floor commercial space corridor, looking north



Photo 26 – First floor office space at rear of commercial space

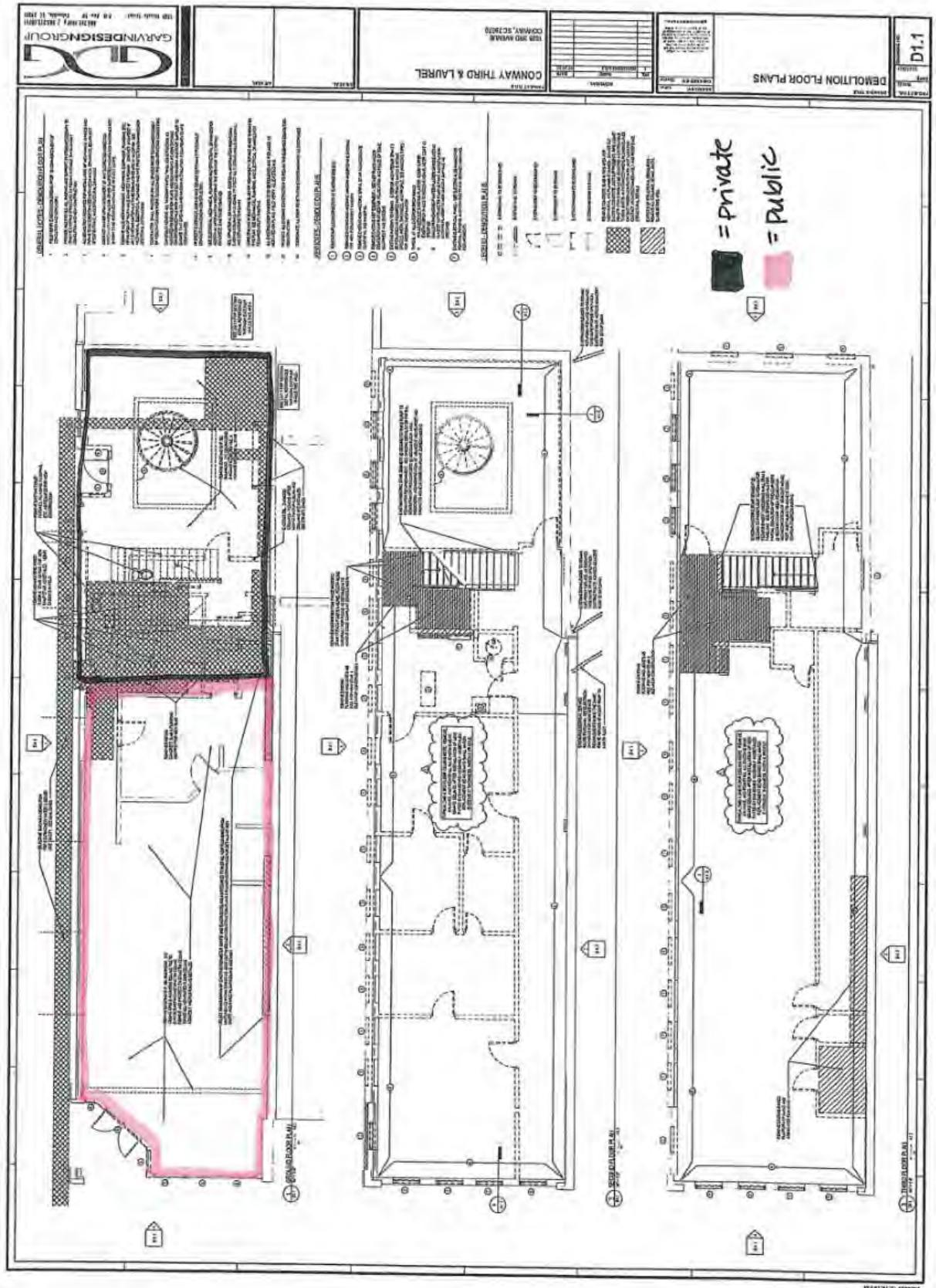


Photo 27 – Change in flooring at central stair



Photo 28 – Bathroom and stairwell at center of building

# Special Tax Assessment - Spivey Building



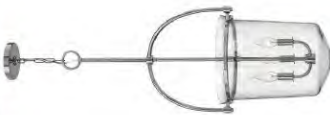




# Special Tax Assessment – Spivey Building

THIRD & LAUREL  
CONWAY, SOUTH CAROLINA

COMMON AREA FINISHES



**STAIR CHANDELIER**  
HINKLEY LIGHTING  
CLANCY 3 LIGHT URN PENDANT  
MODEL: 3033PN



**CORRIDOR SCONCE**  
HINKLEY LIGHTING  
ADA WALL SCONCE  
MODEL: 14011BN



**FLOOR TILE**  
GARDEN STATE TILE  
"MULTIPLIER" BY CROSSVILLE \$5.15/SF  
WHITE PENNYROUND, 3/4"x3/4"  
DARK GRAY PENNYROUND, 3/4"x3/4" BORDER



**GENERAL WALL COLOR**  
SW#7004  
SNOWBOUND



**TRIM**  
SW#7006  
EXTRA WHITE



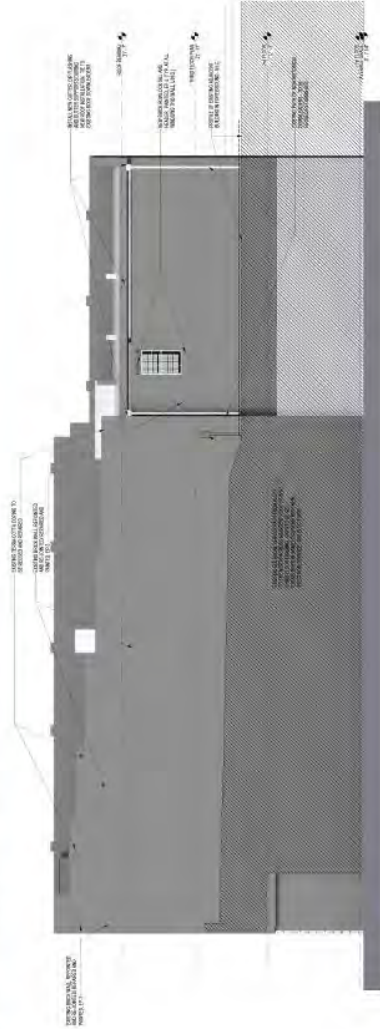
**DOORS**  
SW#6220  
INTERESTING AQUA



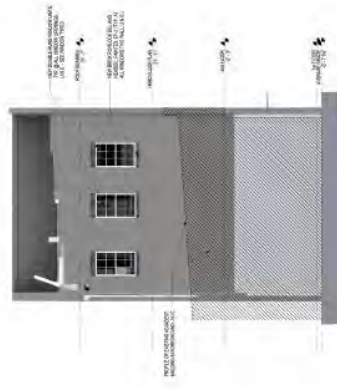
# Special Tax Assessment – Spivey Building

THIRD & LAUREL  
CONWAY, SOUTH CAROLINA

## BUILDING ELEVATIONS



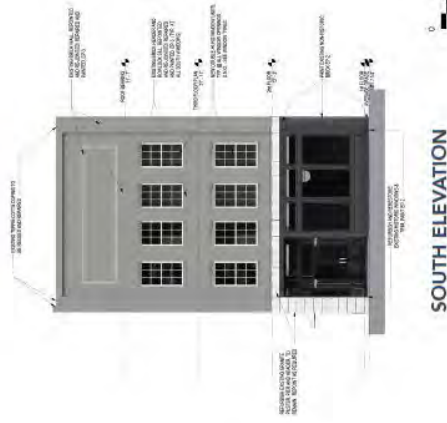
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



# Special Tax Assessment – Spivey Building

THIRD & LAUREL  
CONWAY, SOUTH CAROLINA

STREET VIEW



EXTERIOR BRICK COLOR  
SW# 7067  
CITYSCAPE



Photo 96 – Original appearance of building, c.1940, courtesy of City of Conway



# Special Tax Assessment – Spivey Building

Historic Photographs



Photo 96 – Original appearance of building, c.1940, courtesy of City of Conway



**Preliminary Certification**  
for a Rehabilitated Historic  
Property Special Tax Assessment  
Horry County, South Carolina



We, the Historic Preservation Commission, having been vested with the authority and responsibility to determine and approve applications under Horry County Code of Ordinances Number 106-07, hereby grant preliminary approval to:

Owner(s) Third & Laurel, LLC

Building Spivey Building

Property Address 1203 Third Ave. City Conway

Case Number 01-8-21 PIN Number 368-04-02-0071

Project Contact: Janie Campbell Contact Daytime Phone Number: [REDACTED]

Contact email: [REDACTED]

Applicant is charged with following all duties and requirements of said Ordinance and conditions as set forth by the Historical Preservation Commission. Failure to comply may result in the decertification of this request.

Preliminary Certification granted this 21st day of September 2021.

**Approval Status**

- ☐ The application as received, has been approved by the Historic Preservation Commission.
- ☒ The application, has been approved by the Historic Preservation Commission with the following modification(s) per the Historic Preservation Commission;

1. Both the granite block and limestone will not be painted and any replacement of granite, limestone or mortar will match what is currently there.
2. If the decision is to have the paint removed from the exterior brick, then the mortar must match the color, texture, strength, joint width and joint profile of the existing historic masonry. Techniques used to remove existing mortar and paint must not damage the masonry units.
3. If any significant masonry need to be replaced, the applicant must submit plans for replacement to the Commission prior to installation of the new masonry.
4. This approval does not extend to work not submitted.

James B Thompson III  
Chair, Historic Preservation Commission

Lon Coker  
Attest: Staff Liaison



**Conklin, Lou**

---

**From:** Robert Lewis  
**Sent:** Monday, September 13, 2021 6:29 PM  
**To:** Chris Rogers; Will Brennan; Athena Leventis; Matthew Egerstrom; Philip Minden; pat.blassie@sterbank.com; Kyle Breda; David Renaker; Conklin, Lou; Jessica Hucks  
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**Subject: Spivey Building, Part 2 decision**

September 13, 2021

**PROPERTY: Spivey Building, 1028 Third Avenue, Conway, SC**  
**PROJECT NUMBER: 43464**  
**APPLICATION: Part 2**  
**DECISION: Conditional Approval**

Dear Mr. Lewis:

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**Antonio Aguilar**

Historical Architect

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

<http://www.nps.gov/tps/> website

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## Checklist

### for Preliminary Certification to a Rehabilitated Historic Property Special Tax Assessment



Horry County Historic  
Preservation Commission

**Note: this sheet must be completed and turned in with the application for Preliminary Certification.**

**If this sheet is missing, the application will be considered incomplete.**

All materials should be to a scale large enough to clearly represent existing and proposed changes

#### Application Check List - Check ONLY the boxes that apply and fill in the blanks

- ☒ Application pages 1 through 6 (Includes Acknowledgement of Understanding)
- ☐ Number of additional pages for Historic Overview \_\_\_\_\_
- ☐ Number of additional pages for Other significant architectural or structural features \_\_\_\_\_
- ☐ Number of Detailed Summary of Rehabilitation Work (Sheet A) \_\_\_\_\_
- ☐ Number of Detailed Summary of Rehabilitation Work (Sheet B) \_\_\_\_\_
- ☐ Number of SHPO S2, Number 6, Detailed Description of Proposed Work \_\_\_\_\_
- ☒ Number of National Park Service (NPS) Part 2, Number 5, Detailed Description of Rehabilitation Preservation Work 4 pages

#### Required Support Materials - Each item in this category is required.

- ☒ Certification of Fair Market Building Value (Check the appropriate box below)
  - ☐ Certified by Real Estate Appraiser
  - ☐ Sales price as delineated in a bona fide contract of sale within six (6) months of application
  - ☒ Most recent assessed value from Horry County Tax Assessor
- ☒ Photographs in **color**, no more than two (2) per 8.5" x 11" sheet. A minimum of one (1) photograph keyed to each block on Work Sheets A & B, or SHPO/NPS detailed description sheets. However, to fully explain the rehabilitation work more than one (1) photo may be required per block. (Photos should clearly show not only the areas to be rehabilitated, but also overall views of the building and adjacent sites)
- ☒ A site plan showing the location of each picture keyed to the plan
- ☒ Location map showing where building is located
- ☒ Layout delineating public spaces from private spaces (commercial properties only)

#### Additional Supporting Materials - Check ONLY the boxes for which you are submitting materials

Additional information may be requested prior to a decision being rendered by the Board.

- ☐ Letter of Agency
- ☒ Historic photographs (copies)
- ☒ Architectural elevations (all sides)
- ☐ Architectural floor plans
- ☐ Site plan (building, out buildings, fencing, paving, landscape features)
- ☐ Landscape plan (including saved and proposed vegetation)
- ☐ Inventory of existing tree locations, species, size, and proposal for any tree removal
- ☐ Samples of proposed finishes
- ☐ Drawing and/or sample of street address, including the location on the building, size of lettering, and font style.
- ☐ Signage (Check appropriate boxes below)
  - ☐ Architectural elevations for signs located on the building
  - ☐ Site plan for signs that are free standing
  - ☐ Scaled drawing elevation and details of sign, including information on material and color
 (If signage is not known at this time, an additional application for a Certificate of Appropriateness will be needed prior to sign placement.)
- ☒ SHPO and/or NPS Decision
- ☐ Municipal Application and/or Decision
- ☐ Other \_\_\_\_\_





## Application

### for Preliminary Certification of a Rehabilitated Historic Property Special Tax Assessment



Horry County Historic  
Preservation Commission

For Office Use Only

PIN # \_\_\_\_\_

Submittal Date \_\_\_\_\_

Case # \_\_\_\_\_

Meeting Date \_\_\_\_\_

#### Property Information

Name of Historic Property: Spivey Building Construction Date: 1936

How was construction date determined? Newspaper articles, Sanborn Maps, storefront cornice date

Street Address: 1028 Third Avenue

City: Conway South Carolina, Zip Code: 29526

Fair Market Value: [REDACTED] (Attach Documentation)

How did you determine the fair  
market value of the building?

- ☐ Property appraisal completed by a real estate appraiser licensed by the State of South Carolina; OR
- ☐ Sale price as delineated in a bona fide contract within six (6) months of the time of this submittal; OR
- ☒ Most recent appraised value published by the Horry County Tax Assessor

#### Applicant Information

Name of Property Owner(s): Robert B. Lewis, Third & Laurel, LLC

Mailing Address: [REDACTED] City: [REDACTED]

State: [REDACTED] Zip Code: [REDACTED] Phone: [REDACTED] Email: [REDACTED]

Project Contact: Janie Campbell Contact Daytime Phone Number: [REDACTED]

Contact email: [REDACTED]

#### Historic Designation

Eligibility Requirements  
(Attach Documentation)

- ☒ Listed on the National Register of Historic Places individually or as a contributing property in a district
- ☐ Listed on the Horry County Historic Property Register
- ☐ Determined eligible for the National Register by SC Department of Archives and History
- ☐ Not historically designated

#### Property Owner(s) Signature

By signing this form, I (we) attest that the information provided herein is true and complete to the best of my knowledge and there are no covenants or deed restrictions in place that would prohibit the work applied for in this request. Further, I (we) understand that falsification of factual representations in this application may disqualify the property for the tax credit and any monies not collected by the County must be returned to the County. Original signatures are required.

I hereby certify that I (we) am the owner(s) of the property, that I (we) have fully read the application and accompanying guidelines and understand further, that if my application is not complete, (including supporting materials) it may not be accepted or considered for review.

Robert B. Lewis  
PRINT

[Signature]  
SIGNATURE

Aug 10, 2021  
DATE

PRINT

SIGNATURE

DATE

Third & Laurel, LLC  
PRINT CORPORATION/PARTNERSHIP NAME (If LLC or Corporation please provide authorization to sign)

BY - PRINT NAME

SIGNATURE

DATE



## Property Description

Property Address 1028 Third Avenue

Please check or complete the following for each of the major components of your building.

### Number of Stories

- ☐ 1  
☐ 1 1/2  
☐ 2  
☐ 2 1/2  
☒ Other 3

### Exterior Doors

- ☐ Wood six-panel  
☐ Wood #      of panels  
☐ Horizontal panels  
☒ Wood panels w/ glass  
☐ French doors  
☐ Other

### Exterior Walls

- ☒ Brick  
☐ Stone  
☐ Stucco  
☐ Wood siding  
☐ Wood shingle  
☐ Other siding  
Type                       
☐ Other

### Roof Form

- ☐ Gable  
☐ Hipped  
☒ Flat  
☐ Gambrel  
☐ Mansard  
☐ Other

### Chimneys

Number of 0

- ☐ Brick  
☐ Stuccoed brick  
☐ Stone  
☐ Brick & stone  
☐ Other

### Interior Doors

- ☐ Wood six-panel  
☒ Wood # 5 of panels  
☐ Horizontal panels  
☐ Wood panels w/ glass  
☐ French doors  
☐ Other

### Interior Walls

- ☐ Wood (flushboard)  
☐ Wood (beaded board)  
☒ Plaster  
☒ Drywall  
☐ Other                       
☐ Wainscot  
Type

### Roof Material

- ☐ Wood shingle  
☐ Slate  
☐ Clay tile  
☐ Metal shingle  
☐ Standing seam metal  
☐ V-crimp metal  
☐ Corrugated metal  
☐ Asphalt shingles  
☐ Asbestos shingles  
☐ Other

### Windows

- ☒ 1/1 paned sash  
☐ 2/2 paned sash  
☒ 6/6 paned sash  
☐ 9/9 paned sash  
☐ 3/1 paned sash  
☐ 6/1 paned sash  
☐ Queen Anne  
☐ Casements  
☐ Other                       
☐ Replacement  
Type

### Foundation

- ☐ Brick pier  
☐ Brick pier-infilled  
☒ Brick wall  
☐ Stone  
☐ Cement Block  
☐ Stucco  
☐ Other

### Interior Ceilings

- ☐ Wood  
☒ Wood (beaded board)  
☐ Plaster  
☒ Drywall  
☐ Other

**Describe any other significant architectural or structural features.** (Attach additional sheets if necessary)

## Historic Overview

Provide a brief overview of the historical significance of the building. Include dates and descriptions of major alterations, including if the building has been moved and where it was moved from. (Attach additional sheets if necessary)

Built in 1936 by Doc Green Spivey, the three-story masonry building at the corner of Laurel Street and Third Avenue replaced an earlier one-story structure on the same site that was "cheaply built" and deteriorating. According to the 1938 Sanborn Map, the Spivey building housed a store in the southern, Third Avenue-facing portion while the rear of the building featured three additional bays including a restaurant and two smaller stores. Likely the same businesses that operated out of the former building, which included Mrs. Grainger's lunch stand and a barber shop in the rear sections while Scurry's occupied the main commercial space (the newspaper did not indicate what type of business Scurry's was, only that it featured shelving on the first floor). Prior to this building's construction, the first floor of the former building was used as a five and dime store, so perhaps Scurry's was also a five and dime. The building's history is not well documented until 1960 when Banner Brothers Department Store is listed as occupying this building as well as the Art Barber Shop at the rear of the building. By 1967, Banner Brothers had merged with Leder Brothers Department Store to become Leder-Banner. Leder-Banner remained in this location until at least 1980. The Haberdashery, a men's clothing store, occupied the building following Leder-Banner and various salons have used the rear portion. While the windows have been in-filled, the building still retains much of its original appearance and layout with minimal changes occurring on the upper levels. It continues to serve as an example of downtown Conway's lasting commercial presence.

Provide a check for EACH CATEGORY in the following list. Check "YES" if it is included in your project, check "NO" if you will not be doing any work in that category. While all work must be reported, not all work may not be eligible for the tax credit.

No Yes

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Roof</b> - roofing, flashing, roof deck, roof structure, dormers, vents, chimneys
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Exterior Walls</b> - repairing brick or stone masonry, repointing mortar joints, patching stucco, repairing, patching or replacing historic wood or metal features, painting
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Windows and Doors</b> - repairing existing windows, new sash where missing or too deteriorated to repair, hood molds, sills, shutters, exterior door and window frames, exterior doors, sidelights, transoms
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Porches</b> - roof, flashing, deck, structure, columns, posts, railings, flooring, floor structure, foundation
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Foundations</b> - repairing brick or stone masonry, repointing mortar joints, patching stucco
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Exterior Restoration</b> - removal of later features, new work duplicating missing historic features
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Repair and Stabilization of Historic Structural Systems</b> - structural repair and stabilization of all historic structural elements
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Restoration of Historic Plaster</b> - repair of historic plaster, new plaster where it was a documented historic finish, use of wood or metal lath, documented decorative or flat plaster finish
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Energy Efficiency Measures</b> - insulation, interior or exterior storm windows, storm doors, weather stripping
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Repairs or Rehabilitation of Heating, Air-conditioning, or Ventilating Systems</b> - repairs to existing or installation of new HVAC systems, installing flue liners in historic chimneys
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Repairs or Rehabilitation of Electrical or Plumbing Systems (exclusive of new electrical appliances and electrical or plumbing fixtures)</b> - repair to existing or installation of new electrical service from the point of supply by the utility to the outlets or junction boxes for fixtures, repairs to existing or installation of new plumbing systems from the supply at the water meter (or at the supply side of the pump for a well) to the fixtures and on the sanitary sewer system from the fixture to the sewer or septic (excluding the tank and drainfield), repairs to existing historic electrical and plumbing features.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Architectural and Engineering Fees</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Changes in the Kitchen</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Changes in the Bathroom(s)</b> Number of bathrooms <u>8</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Changes in the Other Rooms (List)</b> <u>Apartments on upper levels and first floor northern commercial block</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Interior Painting, Wall-paper, other Decorative Finishes</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>*Removal of Alteration of Significant Historic Features</b> - Check all that apply:
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Crown Molding
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Wainscot
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Stairs
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Historic Hardware
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Picture Rail
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Baseboard
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Door Trim
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Other _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> Beaded Board
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Wood Floor
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Window Trim
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Other _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Chair Rail
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Tile Floor
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Transoms
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Other _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>*An Addition to the Existing Building (unless necessary to make the building fully useable)</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>*New Building on the Site</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Work on Historic Outbuildings</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>*Work on Non-historic Buildings</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Site Work</b> - grading, concrete (* will not contribute for 25% if site work is for new construction)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Landscaping</b> - plantings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>Fences and Other Non-planting Landscape Features</b> - Describe

☐ ☒ **ADA Upgrades** (ramps, rails, doorways widened, etc.)

☐ ☐ **Other** \_\_\_\_\_  
(Attach additional sheets if necessary)





# Acknowledgment of Understanding for Preliminary Certification of a Rehabilitated Historic Property Special Tax Assessment



Horry County Historic  
Preservation Commission

**Note: This sheet must be completed and turned in with the application for Preliminary Certification. If this sheet is missing the application will be considered incomplete.**

## APPLICANT MUST READ AND INITIAL EACH OF THE FOLLOWING STATEMENTS:

- LBZ I understand that my project will receive preliminary certification from the Historic Preservation Commission (HPC) based on my submittal and once the minutes from the meeting this Special Tax Assessment was discussed at, have been approved. If I choose to start work prior to the receipt of the preliminary certification, I do so at my own risk and understand this may disqualify the project from eligibility for the tax assessment.
- LBZ I understand that ANY significant changes or additions to the building(s)/site(s) after receiving preliminary certification, during the construction phase, or after final certification (during the fifteen (15) year tax freeze period) which were not part of the original submission will need review and approval by either County staff and/or the HPC. Failure to receive approval may disqualify the project from eligibility for the tax assessment.
- LBZ I understand that County staff and/or HPC members will need to review the project regularly with the agent or owner meeting them on-site.
- LBZ I understand that the 25% of fair market value of the building, minimum expenditures for rehabilitation, must be incurred within two (2) years of the date on the preliminary certification from the HPC. If the work is completed within the two years, the project will be eligible for final certification and an application will need to be filed for final certification.
- LBZ I understand that if the project is not completed within two (2) years of receiving preliminary certification, but the minimum expenditures for rehabilitation have occurred, that I may apply for an extension to County staff. Failure to apply for an extension, including project receipts, may disqualify my project from receiving the tax assessment.
- LBZ I understand with a successful extension the property continues to receive the special assessment until the project is completed, but not for more than five (5) years from the date of preliminary certification.
- LBZ I understand that the fee of two hundred fifty (250) dollars is due with the application for final certification and that final certification will not be awarded without payment of this fee and approval by the HPC.
- LBZ I understand this property shall not be eligible for the Special Tax Assessment for Rehabilitated Properties without final certification.
- LBZ I understand the Secretary of the Interior's Standards for the Treatment of Historic Properties and approved Local Design Guidelines will be used to make all informed decisions and to not follow these guidelines may disqualify my project from receiving the tax assessment.

## Property Owner(s) Signature(s)

Printed Name

Signature

Date

Printed Name

Signature

Date

## For Office Use Only

Case # \_\_\_\_\_ Submittal Date \_\_\_\_\_ Meeting Date \_\_\_\_\_

RECEIVED MAY 11 2021

NPS



HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 1 - EVALUATION OF SIGNIFICANCE

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

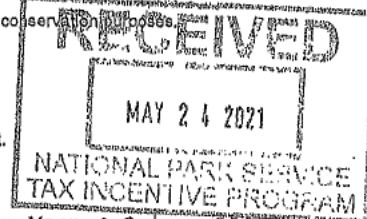
NPS Project Number

43464

1. Historic Property Name Spivey Building 2021-027  
Street 1028 Third Avenue  
City Conway County Horry State SC Zip 29526  
Name of Historic District or National Register property Conway Downtown Historic District  
☒ National Register district ☐ certified state or local district ☐ potential district ☐ National Register property

2. Nature of Request (check only one box)

- ☒ certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.  
☐ certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.  
☐ certification that the building does not contribute to the significance of the above-named district or National Register property.  
☐ preliminary determination for individual listing in the National Register.  
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.  
☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.



3. Project Contact (if different from applicant)

Name Janie Campbell Company Rogers Lewis Jackson Mann & Quinn, LLC  
Street [REDACTED] City [REDACTED] State SC  
Zip 29201 Telephone [REDACTED] Email Address [REDACTED]

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or  
☐ If I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Robert Lewis Signature (Sign in Ink) [Signature] Date 05/06/2021  
Applicant Entity Third & Laurel, LLC SSN [REDACTED] or TIN [REDACTED]  
Street [REDACTED] City [REDACTED] State [REDACTED]  
Zip [REDACTED] Telephone [REDACTED] Email Address [REDACTED]

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 1 for the above-named property and has determined that the property:

- ☒ contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.  
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.  
☐ does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.  
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.  
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.  
☐ appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.  
☐ does not appear to qualify as a certified historic structure.

Date

☐ NPS Comments Attached

[Signature]  
National Park Service Authorized Signature (Sign in Ink)



**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Spivey Building

NPS Project Number 43464

Property Address 1028 Third Avenue, Conway, SC

**5. Detailed Description of Rehabilitation Work.** Use this page to describe all work or create a comparable format with this information.

Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number <u>1</u>	Feature <u>Exterior Brick</u>	Date of Feature <u>1936</u>
-----------------	-------------------------------	-----------------------------

**Describe existing feature and its condition**

The three-story masonry building is laid in a five course common bond. Historically, the building was red brick as evidenced by the c.1940 photograph but it has since been painted a beige color. The building features two pilasters, one on each end of the facade, as well as one after the first bay of the west elevation, creating a separation between the primary and secondary elevations (including the southernmost bay of the west elevation) and emphasizing the storefront.

The paint color varies across the building's elevations, appearing darker in some areas and lighter in others. This likely dates to the building's c.1960s slipcover that was removed in the 2000s.

The facade is composed of a smooth brick while the secondary elevations use a raked, wire cut brick. The windows across the building feature brick soldier course lintels and rowlock sills. The windows that have been in-filled primarily retain their lintels but have had many of the sills removed.

Overall, the brick appears to be in good condition. Some areas, primarily on the west elevation, show areas of moisture damage such as below the parapet, along the northernmost bay, and between the storefront and second level window in the southernmost bay.

A stucco watertable is present along the foundation at the west elevation.

Photo Numbers 1, 2, 3, 7-17, 96

Drawing Numbers D4.1, A4.1

**Describe work to feature**

The entire building will be repainted a grey color.

The brick in-fill at the windows will be removed and windows that are missing their soldier course lintels and/or rowlock sills will be reconstructed.

Number <u>2</u>	Feature <u>Exterior Granite</u>	Date of Feature <u>1936</u>
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**Describe existing feature and its condition**

The Third Avenue storefront is framed in rusticated granite blocks along its top and sides. The building's date of construction, 1936, is engraved in the center of the south facade's stone. A granite column is located in the southwest corner of the storefront, framing the recessed canted corner entrance. Overall, it appears to be in good condition though some minor repairs may be needed.

Photo Numbers 1-7, 9, 96

Drawing Numbers D4.1, A4.1

**Describe work to feature**

The granite will be retained and refurbished as needed. Some repointing is likely necessary and will use matching mortar and tooling.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Spivey Building

NPS Project Number 43464

Property Address 1028 Third Avenue, Conway, SC

Number 3

Feature Windows

Date of Feature c.1960s

**Describe existing feature and its condition**

The building currently features four one-over-one windows across the second floor facade and one in the southernmost bay of the west elevation. The three openings on the third floor of the south facade as well as the thirteen bays across the second and third levels of the west elevation are in-filled with brick. The three bays of the north elevation are also filled with brick. The extant windows have rowlock sills and soldier course lintels. The lintels are present above the in-filled windows. However, the sills are currently missing.

Additionally, three storefront windows have been in-filled with brick between the Laurel Street storefront and the non-historic six-panel door at the center of the west elevation.

Photo Numbers 1-3, 5, 7-13, 15, 16, 96

Drawing Numbers D4.1, A4.1, A7.1, Shop Drawings, Att.1

**Describe work to feature**

The building will feature aluminum clad six-over-six double hung windows as shown in the historic c.1940 photograph. These windows will feature double pane clear insulated glass (see Attachment #1).

The windows will have the historic rowlock sills reconstructed where they are missing.

The three storefront windows at the west elevation will mimic the appearance of the Laurel Street storefront windows: direct set rectangular display windows with a transom above each.

Number 4

Feature Storefronts

Date of Feature c.1980s

**Describe existing feature and its condition**

The building features two storefronts: one on the south facade and one on the north end of the west elevation. The primary storefront on the south facade is paneled wood and features a recessed canted, corner-style entrance.

The first bay is recessed and composed of a sidelight. A set of double doors is located on the cant of the corner-style entrance followed by a sidelight. The storefront then becomes flush with the building and features three display windows atop a paneled bulkhead. Transoms, separated by a transom bar, correspond with each display window, sidelights, and above the double doors. The building's construction date, 1936, is engraved at the center of the granite framing. A granite column is located at the corner of the first level.

The Laurel Street storefront, located at the northern end of the west elevation, likely dates to the 1980s and features a centered, recessed entrance flanked by a display window. The recessed door is flanked by paneled wooden "sidelights" above a narrow paneled wooden bulkhead, all of which is surmounted by a transom. A quarry tile floor and a beadboard ceiling are within the recess. The recessed walls each feature a display window with a transom above and paneled bulkhead below. The two display windows that flank the entrance on the main plane of the west elevation also exhibit this design.



**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Spivey Building NPS Project Number 43464

Property Address 1028 Third Avenue, Conway, SC

Photo Numbers 1-7, 9, 10, 12, 15

Drawing Numbers D4.1, A4.1, A7.1, Shop Drawings

**Describe work to feature**

The main storefront at the south facade will largely remain as it appears. No substantial changes will occur, only minor repairs and repainting such as at the display window paneling.

The storefront at the north end of the west elevation will be restored. A new, more period appropriate door will be installed (see Number 5: Exterior Doors below). The paneled sidelights will remain as will the transom. The existing storefront display windows will be refurbished and retained. Three new display windows will be installed south of the storefront in the in-filled former openings. These will be similar to the existing storefront windows - rectangular direct set windows with a transom. They will not feature bulkheads but will be situated above the existing stucco watertable.

<b>Number</b> 5	<b>Feature</b> <u>Exterior Doors</u>	<b>Date of Feature</b> <u>c.1980s</u>
-----------------	--------------------------------------	---------------------------------------

**Describe existing feature and its condition**

The corner-style entrance at the southern commercial block has a set of wooden double doors, each door with a glazed panel above a wooden panel. A transom surmounts the two doors.

The west elevation features a hollow metal six-panel door immediately south of the northern storefront that likely dates to the 1980s when a mid-century slipcover was removed.

The northern commercial block's storefront features a faux-Victorian wood door with a glazed oval inset above a horizontal panel.

Photo Numbers 3, 4, 11, 12

Drawing Numbers A1.1, A4.1, A7.1

**Describe work to feature**

The double doors at the main entrance will remain and be refurbished as needed.

The west elevation door will be replaced with an aluminum clad wooden storefront-style door with a large glass panel in a painted frame. A new bent aluminum plate awning will be installed over the door.

The northern storefront door will be replaced with a salvaged wooden door. It will either be one or two panels.

<b>Number</b> 6	<b>Feature</b> <u>Roof</u>	<b>Date of Feature</b> <u>1936, c.2000s</u>
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**Describe existing feature and its condition**

The existing roof slopes from south to north with a stepped parapet following the slope. The parapet features terra cotta camelback coping tiles.

The roof is in fair condition.

Photo Numbers 1, 2, 10, 15-20

Drawing Numbers D4.1, A1.4, A4.1

**Describe work to feature**

A new roof system will be installed on the existing roof structure and slope. This new

**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Spivey Building

NPS Project Number 43464

Property Address 1028 Third Avenue, Conway, SC

system will be a single ply 60 mil TPO membrane with continuous cant strips over tapered insulation on 4: rigid insulation on exterior grade plywood sheathing.

Existing gutters and downleaders will remain.

The coping tiles will be repaired and retained.

Number 7

Feature Interior Public Space

Date of Feature c.2017

**Describe existing feature and its condition**

The first floor features a retail space in the southern commercial block. This public retail space features a drop ceiling obscuring historic Art Deco-inspired pressed tin ceilings. The flooring is currently carpeted and the walls are sheet rock.

Photo Numbers 21-28

Drawing Numbers D1.1, A1.1

**Describe work to feature**

The current retail tenant, The Mustard Seed, will remain in this space. The floors will receive new carpet, the walls will remain sheet rock, but the ceilings will be exposed to reveal the original pressed tin panels. However, in order to accommodate a structural ledger and fire rating between the first and second floors, the tin ceiling will be carefully removed and reinstalled at a slightly lower level. The ceiling will feature a fire-rated soffit around the perimeter and a painted, exposed duct along the eastern wall. A sprinkler line will run down the center of the ceiling and will be painted for minimal visibility.



Spivey Building  
1028 Third Ave. Conway, SC  
Part II Photographs – 4/6/2021; 5/12/2021  
Conway Downtown Historic District



Photo 1 – South façade



Photo 2 – South façade storefront with granite border



Photo 3 – Southwest oblique





Photo 4 – Storefront entrance with beadboard ceiling, looking east



Photo 5 – Storefront with “1936” engraved in granite storefront “cornice”





Photo 6 – Rusticated granite pillar at southwest corner of building



Photo 7 – West elevation



Photo 8 – Window scarring on west elevation





Photo 9 – Southernmost bay of west elevation reading as an extension of storefront



Photo 10 – Rear, Laurel Street storefront at northwest corner





Photo 11 – Scarring between Laurel St. storefront and six-panel door, west elevation looking south



Photo 12 – Storefront at Laurel Street





Photo 13 – Scarring in northernmost bay of west elevation



Photo 14 – Stucco water table on west elevation





Photo 15 – Northwest oblique



Photo 16 – Window scarring on north elevation





Photo 17 – East elevation and stepped parapet



Photo 18 – Roof, looking south





Photo 19 – Roof, looking north



Photo 20 – Roof detail at southwest corner, looking southwest



Photo 21 – Commercial space at south façade entrance, looking north





Photo 22 – Southern commercial space, looking east; acoustical ceiling tiles



Photo 23 – First floor commercial space, looking south



Photo 24 – First floor commercial work space, looking northwest





Photo 25 – First floor commercial space corridor, looking north



Photo 26 – First floor office space at rear of commercial space



Photo 27 – Change in flooring at central stair



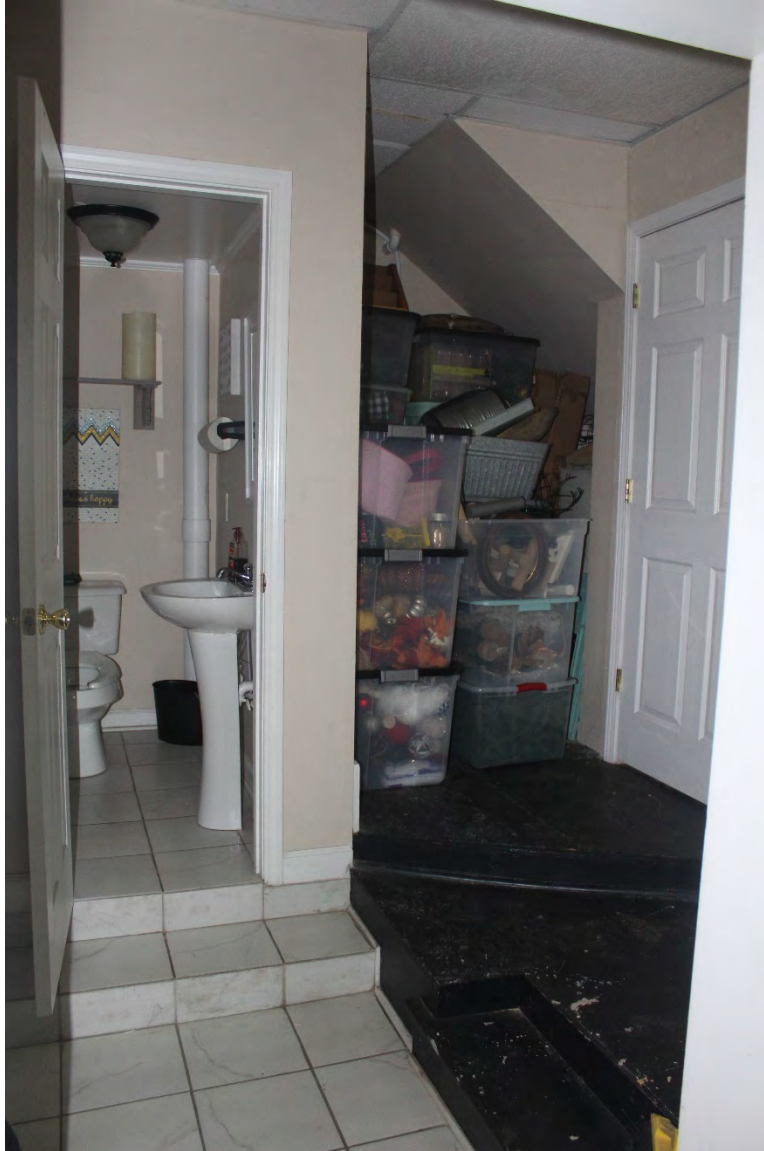
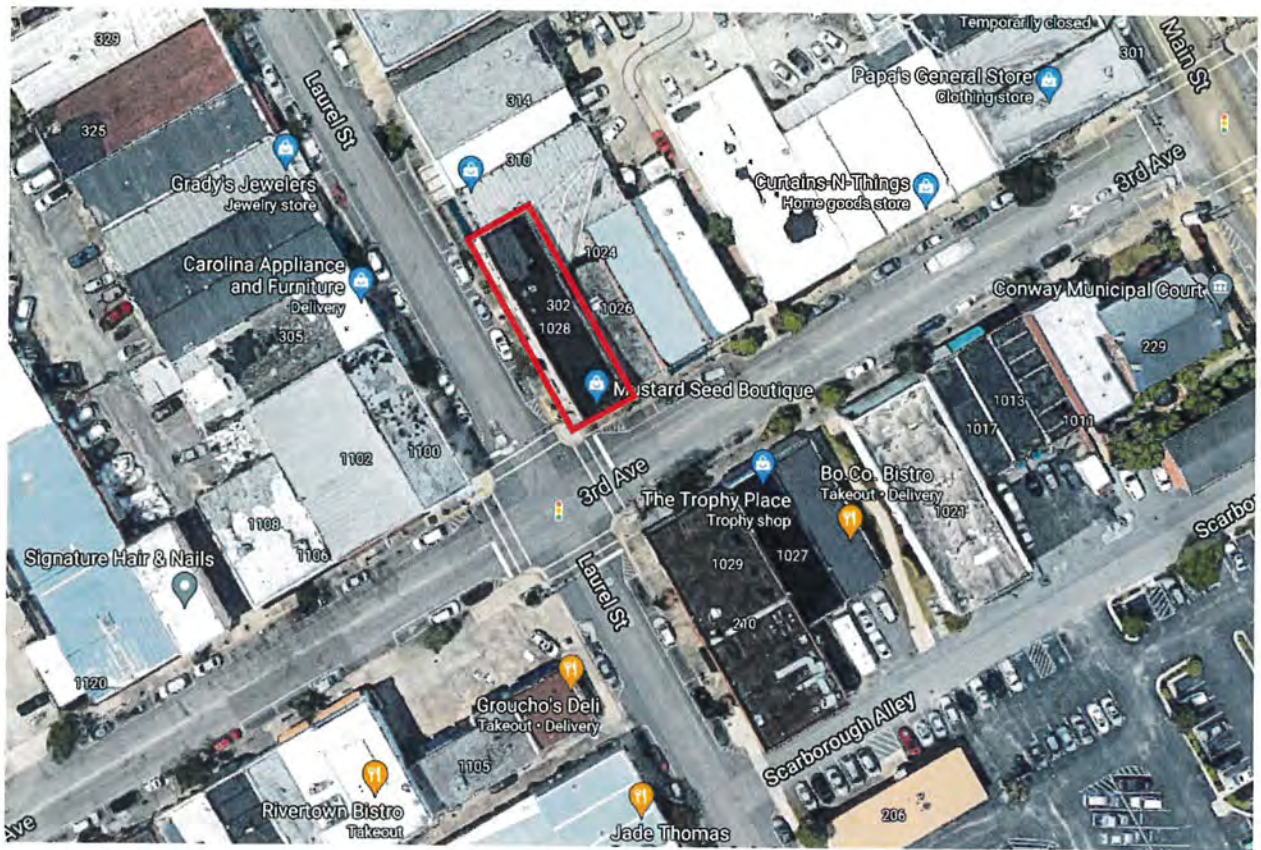


Photo 28 – Bathroom and stairwell at center of building






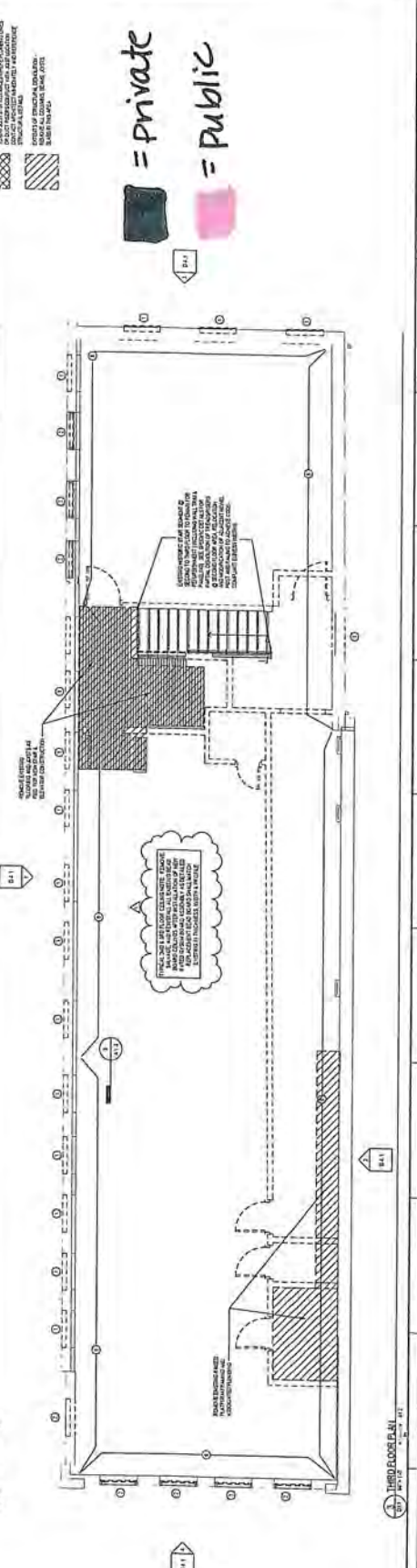
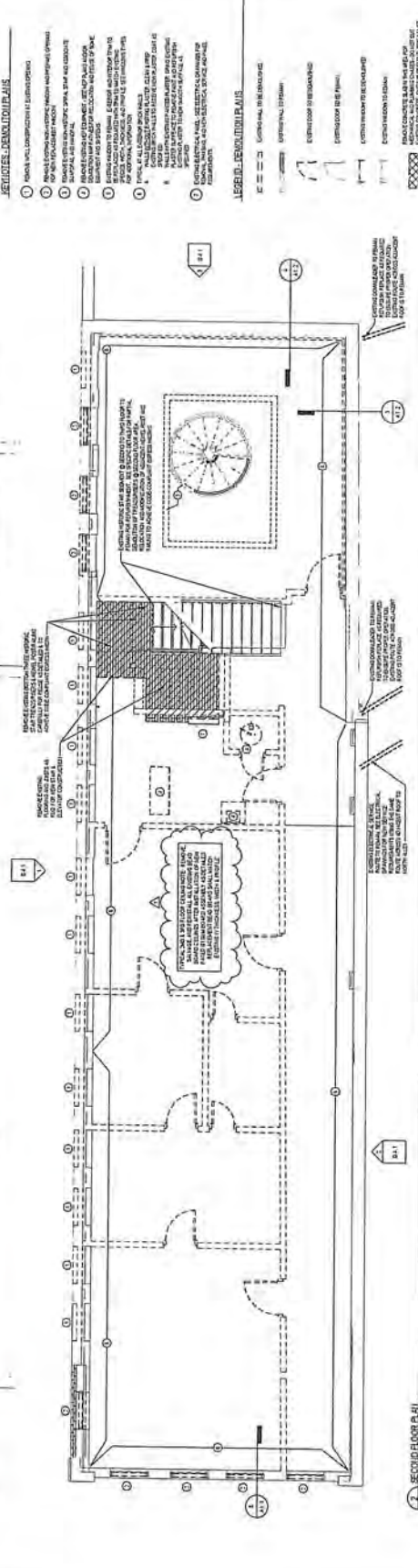
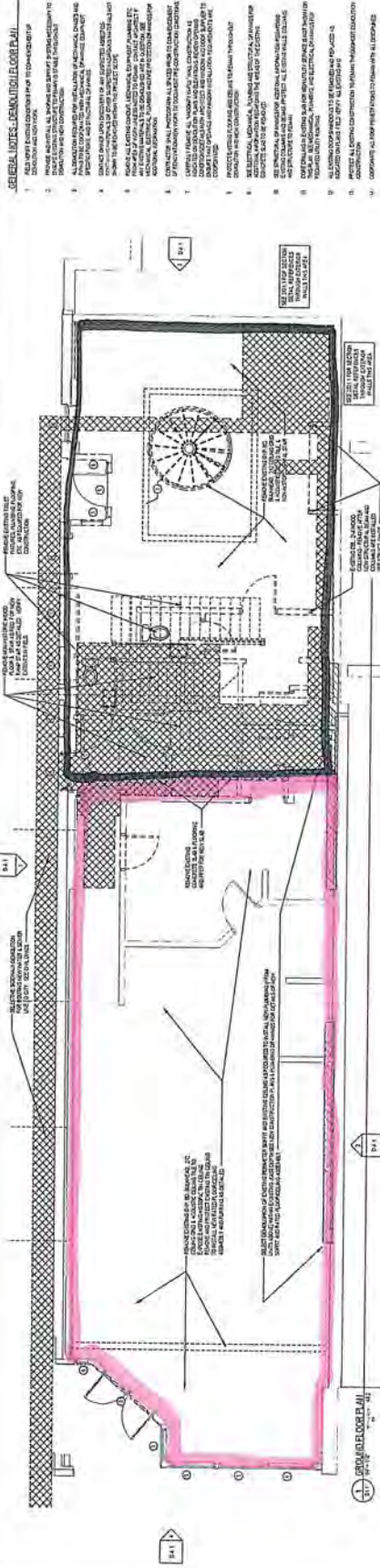




Location of Spivey Building



 = private



3 THIRD FLOOR PLAN

2 SECOND FLOOR PLAN

1 GROUND FLOOR PLAN  
211 34' x 12' 41.2

LEGEND - DEVELOPMENT PLANS

- [illegible]

**KENOTES - DEMOLITION PLANS**

- [illegible]

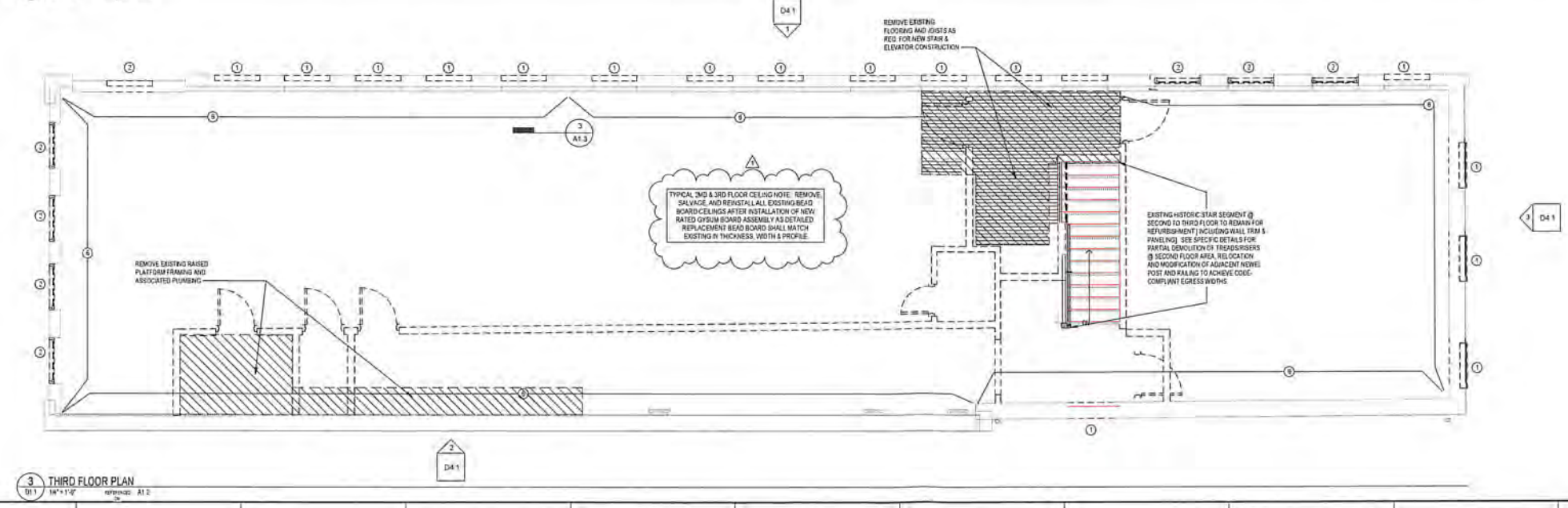
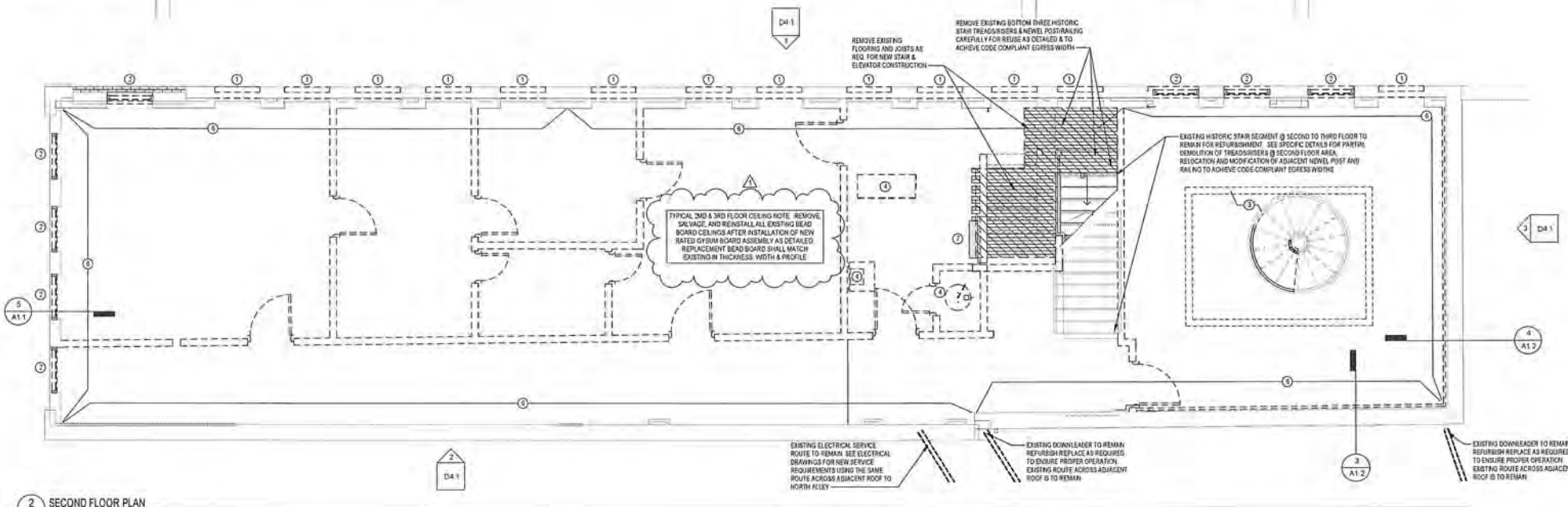
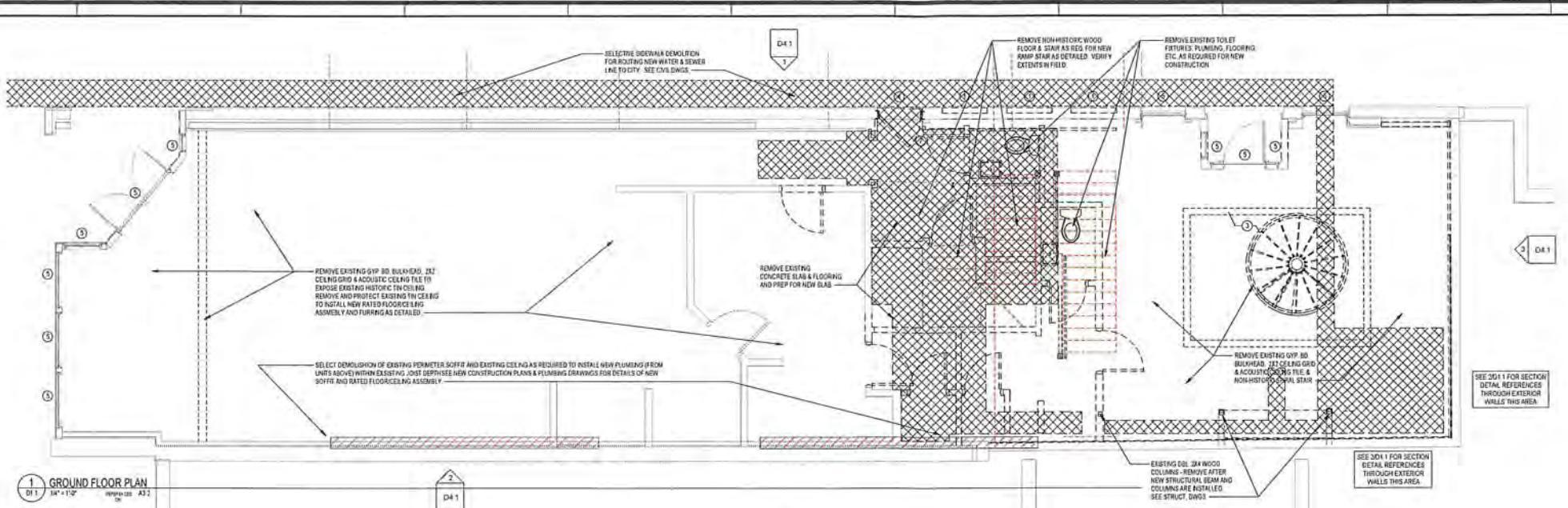
## Historic Photographs



Photo 96 – Original appearance of building, c.1940, courtesy of City of Conway



7/9/2021 12:18:18 PM



- GENERAL NOTES - DEMOLITION FLOOR PLAN**
1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK.
  2. PROVIDE AND INSTALL ALL SHORING AND SUPPORT SYSTEMS NECESSARY TO ENSURE EXISTING STRUCTURE TO REMAIN IS STABLE THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.
  3. ALL DEMOLITION REQUIRED FOR INSTALLATION OF MECHANICAL CHASES AND PIPING TO BE COORDINATED WITH MECHANICAL DRAWINGS, EQUIPMENT SPECIFICATIONS, AND STRUCTURAL DRAWINGS.
  4. CONTACT OWNER UPON DISCOVERY OF ANY SUSPECTED ASBESTOS CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED WITHIN THE PROJECT SCOPE.
  5. REMOVE ALL EXISTING CONDUIT, MECHANICAL EQUIPMENT, PLUMBING, ETC. FROM AREA OF WORK UNLESS NOTED TO REMAIN. CONTACT ARCHITECT IF ANY EXISTING MATERIALS TO BE DEMOLISHED ARE IN QUESTION. SEE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
  6. CONTRACTOR SHALL PHOTOGRAPH ALL SPACES PRIOR TO COMMENCEMENT OF DEMOLITION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS.
  7. CAREFULLY REMOVE ALL "MASSIVE" IN-FILL WALL CONSTRUCTION AS INDICATED ON DEMOLITION PLANS AND ELEVATIONS. REVIEW OPENING CONCENTRICALLY WITH ARCHITECT AND WINDOW AND DOOR SUPPLIER TO ENSURE THAT OPENINGS AND WINDOW INSTALLATION REQUIREMENTS ARE COORDINATED.
  8. PROTECT EXISTING FLOORING AND CEILING TO REMAIN THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.
  9. SEE ELECTRICAL, MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE AREAS OF THE EXISTING CONCRETE SLAB TO BE REMOVED.
  10. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING EXISTING COLUMNS AND BEAMS. PROTECT ALL EXISTING WALLS, COLUMNS, AND STRUCTURES TO REMAIN.
  11. CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
  12. ALL EXISTING DOORS/WINDOWS TO BE REMOVED AND REPLACED AS INDICATED ON PLANS. FIELD VERIFY ALL EXISTING IN 0.
  13. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN THROUGHOUT DEMOLITION/CONSTRUCTION.
  14. COORDINATE ALL ROOF PENETRATIONS TO REMAIN WITH ALL DISCIPLINES.

- KEYNOTES - DEMOLITION PLANS**
1. REMOVE IN-FILL CONSTRUCTION AT EXISTING OPENING.
  2. REMOVE EXISTING NON-HISTORIC WINDOW AND PREPARE OPENING FOR NEW REPLACEMENT WINDOW.
  3. REMOVE EXISTING NON-HISTORIC SPIRAL STAIR AND ASSOCIATE BALUSTRADE AND HANDRAIL.
  4. REMOVE EXISTING MEP EQUIPMENT - SEE MEP PLANS AND/OR DEMOLITION NARRATIVE FOR RELOCATION AND REUSE OF SOME EQUIPMENT AND SYSTEMS.
  5. EXISTING WINDOW TO REMAIN. EXTERIOR AND INTERIOR TRIM TO BE REPLACED AS REQUIRED WITH TRIM TO MATCH EXISTING SPECIES, WIDTH, THICKNESS, AND PROFILE. SEE WINDOWS TYPES FOR ADDITIONAL INFORMATION.
  6. TYPICAL AT ALL EXTERIOR BRICK WALLS:  
A. WALLS WITHOUT EXISTING PLASTER, CLEAN & PREP EXISTING BRICK WALLS TO RECEIVE NEW PLASTER COAT AS SPECIFIED.  
B. WALLS WITH EXISTING PAINTED PLASTER, GROUT EXISTING PLASTER SURFACE TO REMOVE PAINT AND REPAIR/REPLACE EXISTING PLASTER TO NEW SMOOTH SUBSTRATE AS SPECIFIED.
  7. EXISTING ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS FOR REMOVAL, REPAIR, AND NEW ELECTRICAL SERVICE AND PANEL REQUIREMENTS.

- LEGEND - DEMOLITION PLANS**
- EXISTING WALL TO BE DEMOLISHED
  - EXISTING WALL TO REMAIN
  - EXISTING DOOR TO BE DEMOLISHED
  - EXISTING DOOR TO REMAIN
  - EXISTING WINDOW TO BE DEMOLISHED
  - EXISTING WINDOW TO REMAIN
  - REMOVE CONCRETE SLAB IN THIS AREA FOR MECHANICAL AND PLUMBING CHASES - DO NOT CUT EXISTING CONCRETE JOISTS (IF PRESENT). PREP & DUCT PENETRATIONS SHOULD BE ADJUSTED AS FEASIBLE TO BW JOISTS. IN INSTANCES WHERE PLUMBING LINES OR DUCT RUNS CONFLICT WITH JOIST LOCATION, CONTACT ARCHITECT IMMEDIATELY AND REFERENCE STRUCTURAL DETAILS.
  - EXTENTS OF STRUCTURAL DEMOLITION - REMOVE ALL COLUMNS, BEAMS, JOISTS, SLABS IN THIS AREA

**GARVIN DESIGN GROUP**  
403.312.1022 p / 403.312.1041  
P.O. Box 16 Columbia, SC 29202

1209 Lucille Street

PROJECT TITLE  
**CONWAY THIRD & LAUREL**  
1028 3RD AVENUE  
CONWAY, SC 29526

NO.	DATE	NAME	REVISIONS
1	07/09/21	A1.1	ISSUED FOR PERMIT

DRAWN BY: A1.1  
CHECKED BY: CHIEF  
DATE: 07/09/21

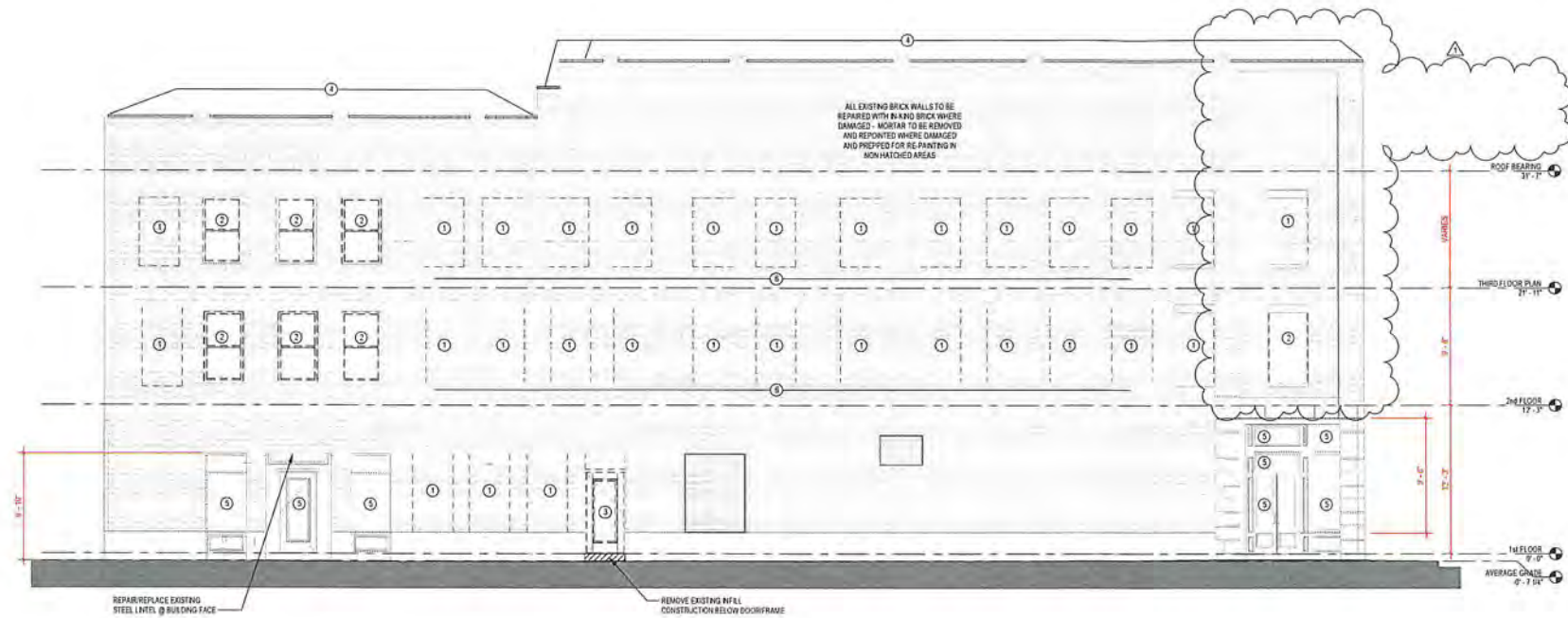
NOTES:  
1. THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE DEMOLITION NARRATIVE AND MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS.  
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTIES AND UTILITIES.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES.

DRAWING TITLE  
**DEMOLITION FLOOR PLANS**

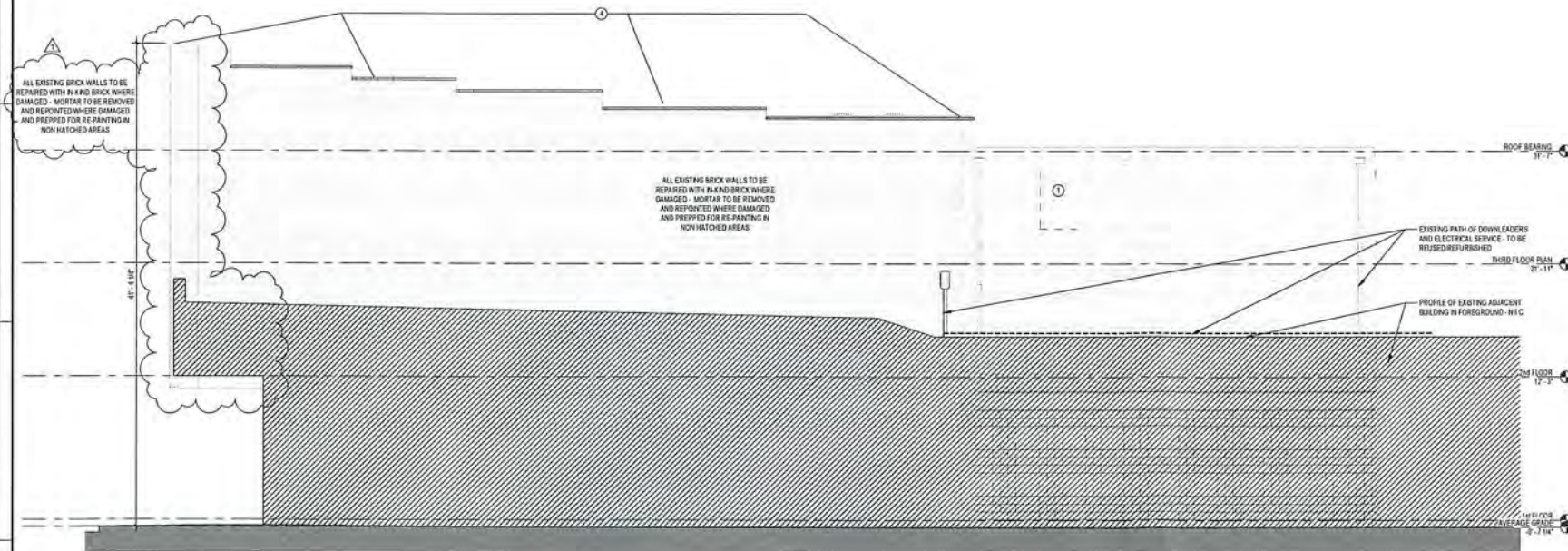
PROJECT NO.: T096.21  
DATE: 07/09/21  
DRAWING NO.: **D1.1**



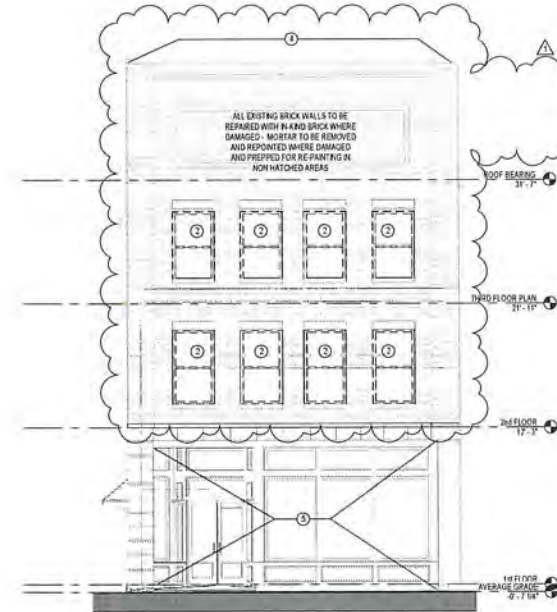
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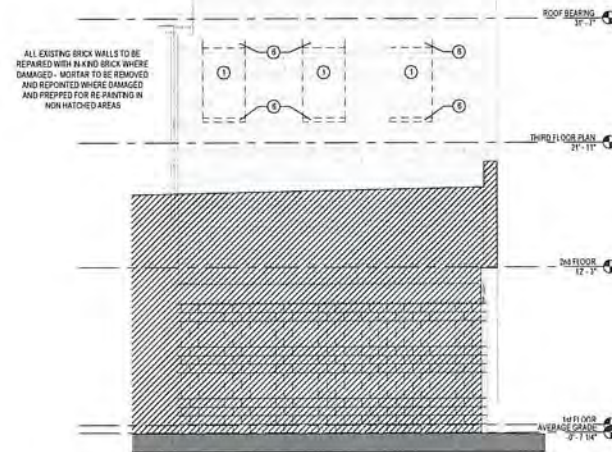
1 West - DEMO  
DWG 1 3/16" x 1/4" REVISIONS: A1.1



2 East - DEMO  
DWG 2 3/16" x 1/4" REVISIONS: A1.1



4 South - DEMO  
DWG 4 3/16" x 1/4" REVISIONS: A1.1



3 North - DEMO  
DWG 3 3/16" x 1/4" REVISIONS: A1.1

#### KEYNOTES - DEMOLITION ELEVATIONS

- 1 REMOVE INFILL CONSTRUCTION AT EXISTING OPENING
- 2 REMOVE EXISTING NON-HISTORIC WINDOW AND PREPARE OPENING FOR NEW REPLACEMENT WINDOW
- 3 REMOVE EXISTING NON-HISTORIC HOLLOW METAL DOOR
- 4 PRESERVE AND PROTECT EXISTING TERRAZZO CORING
- 5 EXISTING WINDOW TO REMAIN - EXTERIOR AND INTERIOR TRIM TO BE REFINISHED & PAINTED AS REQUIRED WITH TRIM TO MATCH EXISTING SPECIES, WIDTH, THICKNESS AND PROFILE
- 6 REMOVE EXISTING BRICK INFILL AS REQUIRED TO CONSTRUCT BRICK SOLIDER COURSE AND BRICK ROWLOCK SILL TO MATCH EXISTING WINDOW OPENINGS

PROJECT TITLE  
**CONWAY THIRD & LAUREL**  
1028 3RD AVENUE  
CONWAY, SC 29526

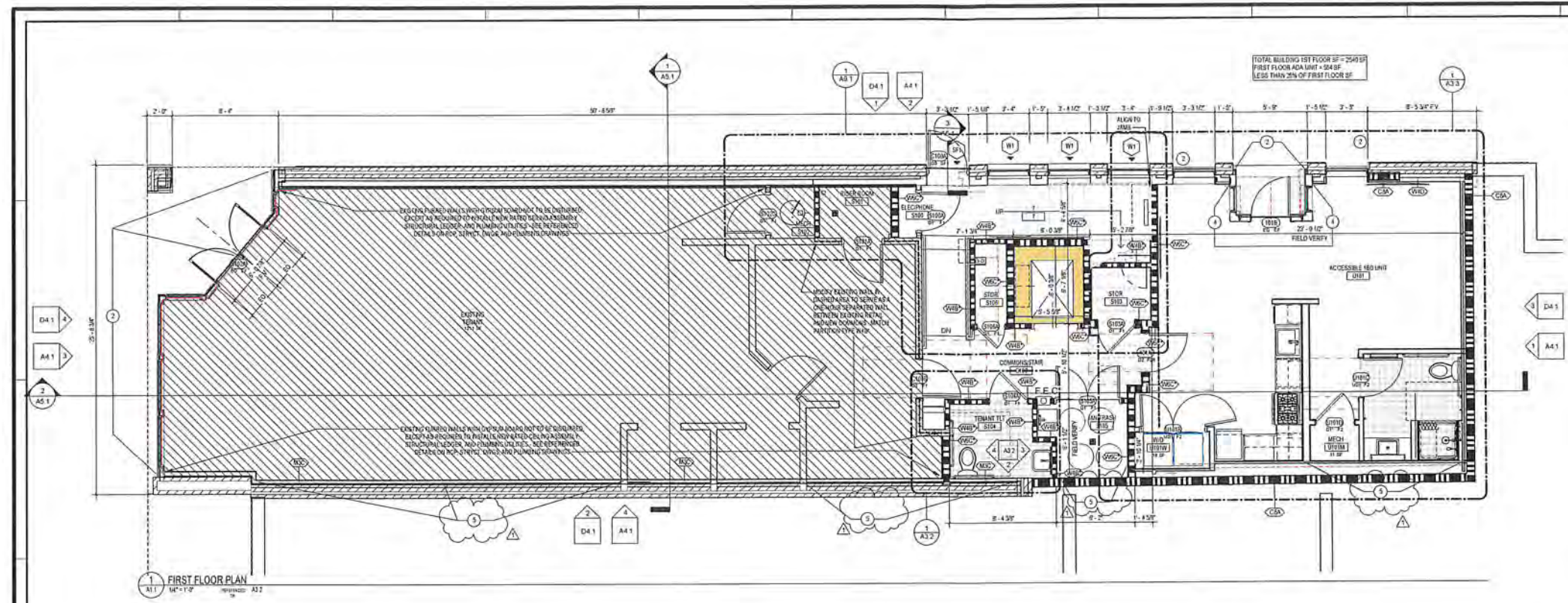
NO.	REVISIONS	DATE
1	ADDITIONAL NO. 1	02/08/21

DRAWN BY: JACOB  
CHECKED BY: CHAD  
REVISIONS: A1.1

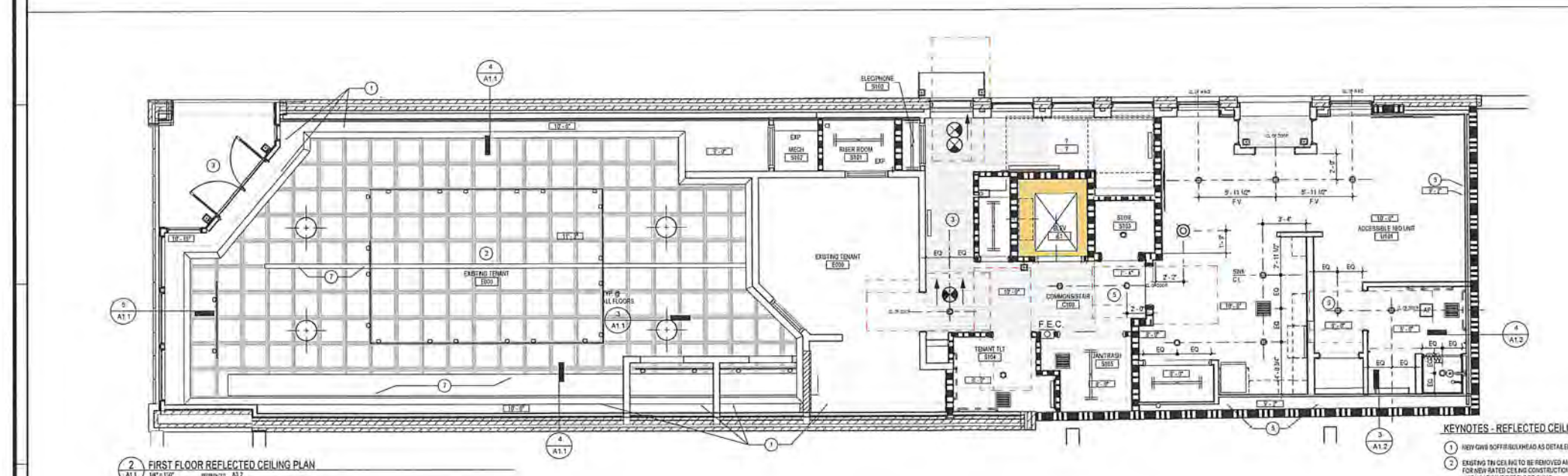
DRAWING TITLE  
**BUILDING ELEVATIONS -  
DEMOLITION**

PROJECT NO.: 1028-21  
DATE: 02/27/2021  
DRAWING NO.: **D4.1**

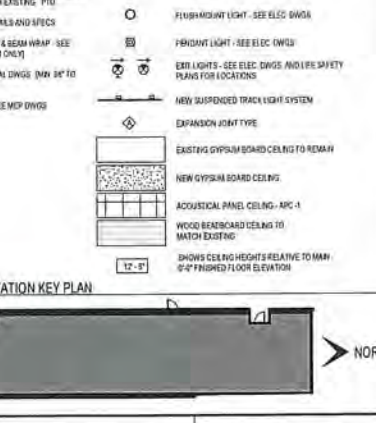
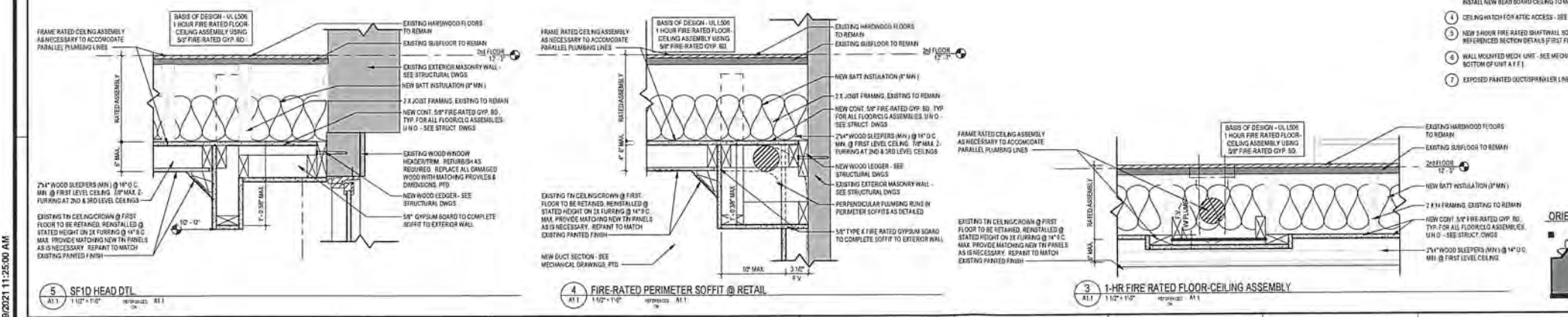




- GENERAL NOTES - FLOOR PLAN**
- SEE SHEET A3.1 FOR MINIMUM REQUIRED CLEARANCES AND ACCESSIBILITY REQUIREMENTS. ACCESSIBLE DOOR MANEUVERING CLEARANCES APPLY TO ALL DOORS UNLESS OTHERWISE NOTED. COORDINATE ALL ACCESSIBLE ROUTES WITH ARCHITECTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR FINISH PENETRATIONS WITH SYSTEM DRAWINGS, E.G. PS, PPS, AND ETS AND ACTUAL PRODUCTS TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
  - SEE CODE REVIEW SHEETS FOR REQUIRED ASSEMBLIES OF ALL BUILDING SYSTEMS. ALL PENETRATIONS THROUGH RATED WALL AND FLOOR ASSEMBLIES MUST COMPLY WITH DESIGN FOR PENETRATIONS.
  - DIMENSIONS INDICATED ON THESE DRAWINGS ARE TO FACE OF CUR WALL, FACE OF EXTERIOR VENEER, FACE OF STUD, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED. COORDINATE ALL DIMENSIONS WITH STRUCTURAL DIMENSION PLANS, ENLARGED PLANS, SECTION AND DETAIL DRAWINGS, STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR FINISH PENETRATIONS WITH SYSTEM DRAWINGS, E.G. PS, PPS, AND ETS AND ACTUAL PRODUCTS TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
  - SEE FLOOR SCHEDULES AND PLANS FOR FLOOR PATTERNS AND FLOOR FINISH REFERENCES.
  - EXTERIOR MASONRY OPENINGS TO RECEIVE STOREFRONT CURTAIN WALL, DOORS, WINDOWS, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM.
  - INTERIOR METALWOOD STUD OPENINGS TO RECEIVE MOUNTED, DOORS, UTILITY, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM. LOCATION OF ALL RECESSED CABINETS AND EQUIPMENT WALL PENETRATIONS MUST BE FIELD VERIFIED PRIOR TO INSTALLATION OF CUR WALLS TO ENSURE ACCURATE LOCATION AND EVEN CLOSING. ANY CONFLICTS WITH NOTED DIMENSIONS OR LOCATIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
  - SEE ROOF PLAN FOR ROOF DETAIL REFERENCES, GENERAL ROOF NOTES AND ROOF LEGEND.
  - CONTACT OWNER AND ARCHITECT UPON DISCOVERY OF ANY SUSPECTED ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED WITHIN THE PROJECT SCOPE.
  - REPLACE ALL DEMOLISHED PLASTER WITH GYPSUM BOARD OF CONSISTENT DEPTH.
- LEGEND - FLOOR PLAN**
- NOTE: SEE PARTITION TYPES FOR UL SYSTEM DESIGNATIONS
- REC FIRE EXTINGUISHER IN WALL CABINET  
FEB FIRE EXTINGUISHER OVERWALL BRACKET  
FD FLOOR DRAIN
- KEYNOTES - FLOOR PLAN**
- REPLACE WINDOW WITH TRANSLUCENT GLAZING
  - REPAIR AND RE-INSTALL EXISTING HISTORIC WINDOW, PAINT EP-2
  - NEW HPL FLOOR FINISH, SUBFLOOR & HARDWOOD FLOORING TO MATCH EXISTING
  - EXISTING GYPSUM BOARD WALL AND PARTING TO REMAIN OR BE RE-TERMINATED AS REQUIRED TO PROVIDE FINAL SPECIFIED FINISH
  - NEW STRUCTURAL POST COLUMN CENTERED IN NEW OR EXISTING PARTITION. FIELD VERIFY EXACT LOCATIONS WITH ARCHITECT/ENGINEER. SEE STRUCTURAL DRAWINGS.



- GENERAL NOTES - REFLECTED CEILING PLAN**
- REFER TO ELECTRICAL DRAWINGS FOR QUANTITY AND SPECIFIC LIGHT FIXTURE DESIGNATIONS AND FOR FULL EXTENT OF ELECTRICAL CEILING AND WALL MOUNTED DEVICES.
  - ALL SUSPENDED ACoustical GRIDS ARE TO BE COVERED IN CEILING ROOMS AS SHOWN, UNLESS NOTED OTHERWISE.
  - CEILING MOUNTED EQUIPMENT, DEVICES, FIXTURES & GRILLS MUST BE COORDINATED ON REFLECTED CEILING PLANS. CEILING MOUNTED SPRINKLERS TO BE LOCATED IN CENTER OF CEILING TILE PLACED CEILING AND ALSO WITH DOWNGUT IN GYPSUM CEILING AND SCOTTS.
  - SEE EP DRAWINGS FOR FIRE PROTECTION SYSTEM LAYOUT. COORDINATE ROUTING OF PIPING WITH ARCHITECTURAL DWGS AND DETAILS AS WELL AS ALL OTHER SYSTEM DRAWINGS (E.G. ME, PE, PPS, & ETS). BUOYANT LAYOUT COORDINATION DRAWINGS FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.
  - PAINT ALL EXPOSED STRUCTURAL CEILING AREAS INCLUDING ROOF DECK, STEEL STRUCTURE, DUCTWORK, PLUMBING LINES, FIRE SUPPRESSION LINES, ETC. CONFORM TO A BAKER AND OTHER NON-FINISH ITEMS EXCEPT IN MECHANICAL ROOMS, ELECTRICAL ROOM, ELEVATOR MACHINE ROOMS, AND TELLER DATA ROOMS, UNLESS NOTED OTHERWISE ON THESE FLOOR SCHEDULES AND INTERIOR FINISHES.
  - ACCESS PANELS BY GENERAL CONTRACTOR. QUANTITY OF ACCESS PANELS SHOWN ON ARCHITECTURAL DRAWINGS NOT INTENDED TO BE ALL INCLUSIVE. SEE MECHANICAL DRAWINGS, PLUMBING DRAWINGS, ELECTRICAL DRAWINGS, AND FIRE PROTECTION SHOP DRAWINGS FOR ADDITIONAL REQUIRED ACCESS PANELS NOT SHOWN. COORDINATE EXACT LOCATION OF ACCESS PANELS WITH ARCHITECT. SEND ALL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WHICH REQUIRE ACCESS TO THE REAR OF ACCESSIBLE CEILING OR ACCESS PANEL LOCATION SHOWN. HAVE THE QUALITY OF MECHANICAL ACCESS PANELS TO THE ARCHITECT'S ATTENTION AS SOON AS POSSIBLE AND BEFORE PROCEEDING.
  - PAINT ALL EXPOSED STEEL LINTELS, ANGLES AND PLATES AND BEAMS UNLESS NOTED OTHERWISE.
- LEGEND - REFLECTED CEILING PLAN**
- ACCESS PANEL - COORDINATE LOCATIONS WITH ARCHITECT  
SUPPLY & RETURN MECHANICAL DIFFUSERS AND EXHAUST GRILLS - SEE MECH DWGS  
1 HOUR SLOTTED DIFFUSER - SEE MECH DWGS  
LIGHT FIXTURES - SEE ELEC DWGS  
RECESSED DOWNLIGHT - SEE ELEC DWGS  
WALL MOUNTED LIGHT FIXTURES - SEE ELEC DWGS  
STRIP LIGHT FIXTURE - SEE ELEC DWGS  
FLUSH MOUNT LIGHT - SEE ELEC DWGS  
PENDANT LIGHT - SEE ELEC DWGS  
EXIT LIGHTS - SEE ELEC DWGS AND LIFE SAFETY PLANS FOR LOCATIONS  
NEW SUSPENDED TRACK LIGHT SYSTEM  
EXPANSION JOINT TYPE  
EXISTING GYPSUM BOARD CEILING TO REMAIN  
NEW GYPSUM BOARD CEILING  
ACoustical PANEL CEILING - APC-1  
WOOD BEAMBOARD CEILING TO MATCH EXISTING  
SHOWS CEILING HEIGHTS RELATIVE TO MAIN 0'-0" FINISHED FLOOR ELEVATION
- KEYNOTES - REFLECTED CEILING PLAN**
- NEW GWS SLOTTED DOWNLIGHT AS DETAIL
  - EXISTING TIN CEILING TO BE REMOVED AND REINSTALLED TO ALLOW FOR NEW RATED CEILING CONSTRUCTION & STRUCTURAL LEDGER INSTALLATION (FIRST FLOOR ONLY)
  - EXISTING WOOD PLANK CEILING - REMOVE AND REINSTALL AFTER INSTALLING FIRE-RATED FLOOR CEILING ASSEMBLY WHERE MISSING. INSTALL NEW BEAM BOARD CEILING TO MATCH EXISTING. PFD
  - CEILING HATCH FOR ATTIC ACCESS - SEE DETAILS AND EPICS
  - NEW 1 HOUR FIRE RATED DIAPHRAGM, SOFFIT & BEAM WRAP - SEE REFERENCED SECTION DETAIL 5 (FIRST FLOOR ONLY)
  - WALL MOUNTED MECH UNIT - SEE MECHANICAL DWGS (MIN 36" TO BOTTOM OF UNIT A1.1)
  - EXPOSED PAINTED QUOTSPRINKLER LINE - SEE MECH DWGS



**GARVIN DESIGN GROUP**  
1309 Lincoln Street  
P.O. Box 18  
Columbia, SC 29902  
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**PROJECT TITLE**  
CONWAY THIRD & LAUREL

**1025 3RD AVENUE**  
CONWAY, SC 29526

NO.	REVISIONS	DATE
1	ADDITIONAL NO. 1	07.29.21

**DRAWN BY:** JACOB  
**CHECKED BY:** CHASCO

**DRAWING NO.**  
A1.1

**PROJECT NO.**  
11-2500 AM

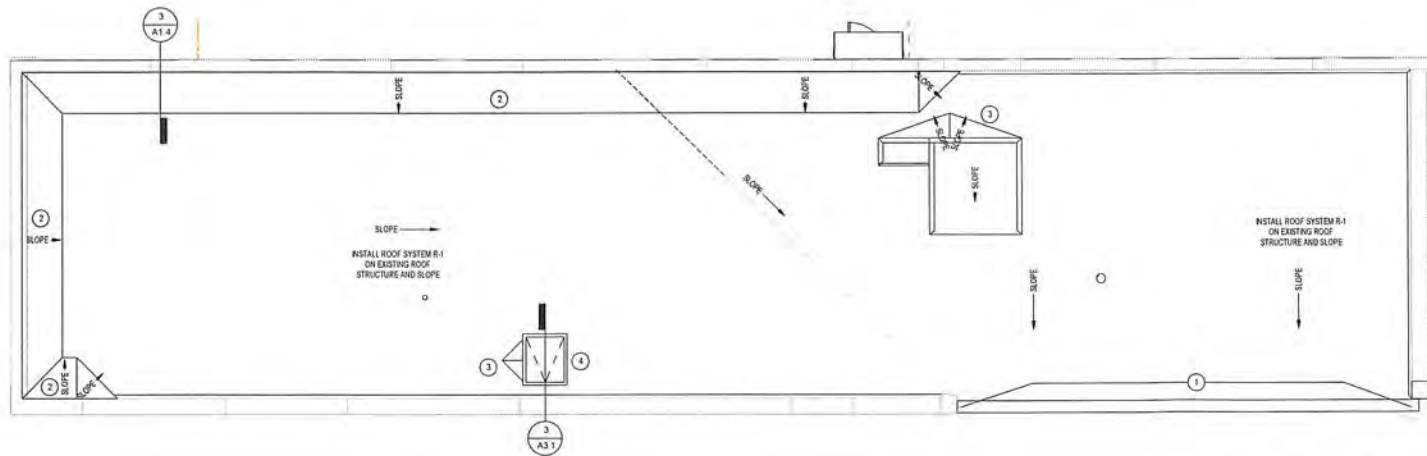
**DATE**  
08.27.2021



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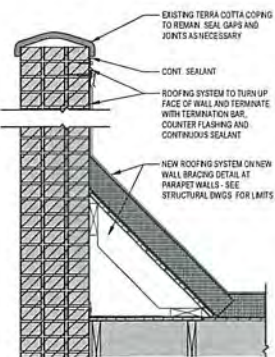
# 1 ARCHITECTURAL SITE PLAN

A1.4 1"=10'-0"



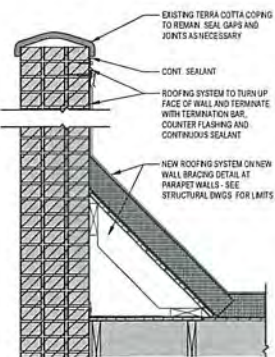
## 2 ROOF PLAN

A1.4 1"=0'-0"



## 3 ROOF DETAIL @ PARAPET WALL

A1.4 1"=1'-0"



LAUREL STREET

THIRD AVENUE

2  
A1.4

EXISTING ADJACENT BUILDING, N.Y.C.

EXISTING ROOF SLOPE

F.E.C.

EXISTING ROOF SLOPE

EXISTING ADJACENT BUILDING, N.Y.C.

EXISTING ADJACENT BUILDING, N.Y.C.

EXISTING ADJACENT BUILDING, N.Y.C.

EXISTING ADJACENT BUILDING, N.Y.C.

EXISTING ADJACENT BUILDING, N.Y.C.

### LEGEND - TYPICAL ROOF SYSTEMS

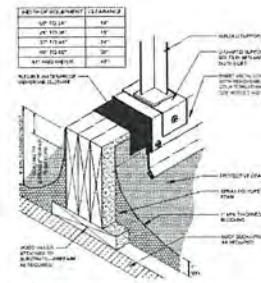
TYPICAL ROOF SYSTEM R-1  
SINGLE PLY 60 MIL TPO MEMBRANE W/ CONT. CANT STRIPS OVER TAPERED INSULATION ON 4" RIGID INSULATION ON EXTERIOR GRADE PLYWOOD SHEATHING  
1" MIN. CONTINUOUS ROOF INSULATION (R-30 or MIN.)

### GENERAL NOTES - ROOF PLAN

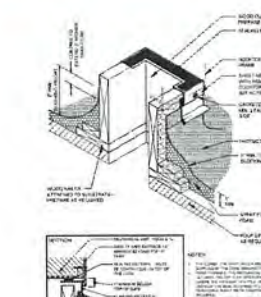
1. PRELAP ROOF INSULATION AT CRICKETS TO DRAINS WITH SLOPE OF 1" PER FOOT MINIMUM. MEASURED AT VALLEY CONDITIONS. SLOPE OF INSULATION BETWEEN ROOF DRAIN AND SCUPPER 1/4" MIN PER FOOT MIN. UNLESS NOTED OTHERWISE.
2. 4" FIBER CANTS ALONG PARAPET AND VERTICAL WALL PERIMETER TYPICAL.

### KEYNOTES - ROOF PLAN

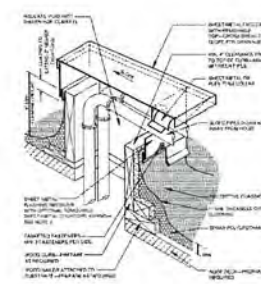
1. EXISTING GUTTER AND DOWNSPUTTERS TO REMAIN. INSPECT ALL COMPONENTS, ANCHORS, FLASHING, CLEATS, AND SEALANT JOINTS AND REPLACE AS REQUIRED TO ENSURE TIE-IN TO NEW ROOF SYSTEM. REPAIR DAMAGED AREAS PRIOR TO COMPLETING NEW ROOF SYSTEM.
2. NEW STRUCTURAL PARAPET BRACING, SEE REFERENCED DETAIL AND STRUCTURAL DRAWINGS.
3. NEW ROOF CRICKET.
4. NEW ROOF PATCH, BUCO 520 OR EQ. FIELD VERIFY SIZE OF OPENING BETWEEN EXISTING ROOF JOISTS (ASSUME 3/8" SEE WITH R.I.D. CURB MOUNTED ROOF PATCH SAFETY RAILING AS BASIS OF DESIGN - OR EQUAL).



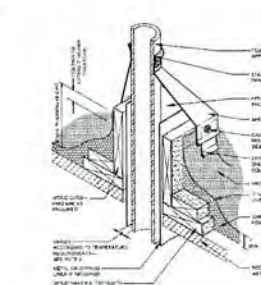
1. BASE FLASHING AT EQUIPMENT SUPPORT CURB  
SPF-7



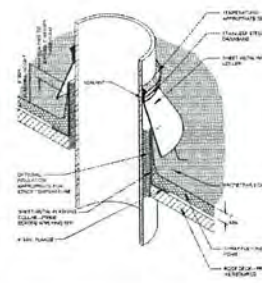
2. BASE FLASHING AT WOOD CURB  
SPF-10



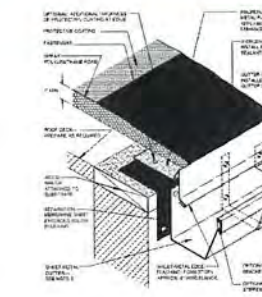
3. BASE FLASHING AT SHEET METAL ENCLOSURE FOR PIPING THROUGH ROOF DECK  
SPF-12



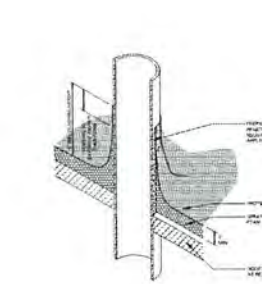
4. BASE FLASHING AT INSULATED STACK FLASHING  
SPF-13



5. SHEET METAL STACK VENT (HOT OR COLD)  
SPF-14



6. GUTTER WITH PERIMETER EDGE METAL  
SPF-21



7. PIPE PENETRATION  
SPF-15



8. MEMBRANE-COATED METAL PENETRATION POCKET-DOUBLE PENETRATION  
SPF-16

**GARVIN DESIGN GROUP**  
1209 Lincoln Street  
Columbia, SC 29202  
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803.212.1024  
803.212.1024

PROJECT TITLE  
**CONWAY THIRD & LAUREL**

1028 3RD AVENUE  
CONWAY, SC 29526

NO.	REVISIONS	NAME	DATE
1	1	ADDENDUM NO. 1	07/09/21

DRAWN BY: Chase  
CHECKED BY: Chase

NOTED: The drawings are prepared for the purpose of providing information to the contractor. The contractor is responsible for verifying the accuracy of the information and for obtaining all necessary permits and approvals. The drawings are not to be used for construction without the approval of the architect.

DRAWING TITLE  
**ROOF PLAN**

PROJECT NO.: 1366-21  
DATE: 05/27/2021  
DRAWING NO.: **A1.4**







**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
STATE HISTORIC PRESERVATION OFFICE  
REVIEW & RECOMMENDATION SHEET  
PART 2 / PART 3—REHABILITATION**

**SECTION 1. APPLICATION INFORMATION**

**PROJECT NUMBER** 43464

Historic Property Name Spivey Building

Property Address 1028 Third Avenue, Conway, SC

Certified Historic Structure (select one) ☒ Yes ☐ Pending

☒ **Part 2**

☐ Preliminary consultation (date) \_\_\_\_\_

☒ Applying for state tax credit

☐ **Part 3 (Part 2 previously reviewed)**

☐ Completed rehabilitation work conforms to work previously approved

☐ Completed rehabilitation work differs substantively from work previously approved  
(describe divergences from Part 2 scope of work in Section 5)

☐ **Part 3 (Part 2 not previously reviewed)**

Application received (date) 7-12-21

☐ Amendment (applicant signature date \_\_\_\_\_)

Additional information requested (date/s) \_\_\_\_\_

☐ Request for an advisory determination for a phase

Complete information received (date) 7-12-21

☐ Property visited by SHPO staff (date/s):

Transmitted to NPS (date) 7-29-21

Before \_\_\_\_\_, during \_\_\_\_\_, and/or after \_\_\_\_\_ rehab.

**SHPO REVIEW SUMMARY**

☐ No outstanding concerns

☒ In-depth NPS review requested

☒ Applicant informed of SHPO  
recommendation

**SECTION 2. APPLICATION MATERIALS**

Sent previously: ☒ Photographs ☒ Other (list) Part 1

Attachments: ☒ Photographs ☐ Rolled plans ☐ Flat plans, large size ☐ Flat plans, 11" x 17" or smaller ☐ Other (list)

Sent separately: ☐ Photographs ☒ Rolled plans ☐ Flat plans, large size ☐ Flat plans, 11" x 17" or smaller ☐ Other (list)

Documentation remaining on file in SHPO (e.g., masonry repointing samples, specifications) \_\_\_\_\_

**SECTION 3. SHPO RECOMMENDATION**

Dan Elswick, who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

This rehabilitation work (select only one):

☐ meets the Standards.

☐ meets the Standards with concerns.

☒ meets the Standards *only* if the attached conditions are met (Part 2 and Amendments only).

☐ does not meet Standard number(s) \_\_\_\_\_ and for the reasons described in Section 5.

☐ does not meet Standard number(s) \_\_\_\_\_ as completed, but could be brought into conformance with the Standards if the remedial work recommended in Section 5 is completed (Part 3 only).

☐ warrants denial for lack of information.

☐ is being forwarded without recommendation.

07/29/2021

Date

Elizabeth M. Johnson

State Historic Preservation Office Signature



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## SECTION 4. ISSUES

- |   |  |
|---|--|
| <input type="checkbox"/> Alteration of significant exterior features or surfaces                              | <input type="checkbox"/> Alteration, removal, or covering of significant interior features or finishes |
| <input checked="" type="checkbox"/> Window replacement  | <input type="checkbox"/> Changes in significant interior plan, spaces, or circulation patterns         |
| <input type="checkbox"/> Additions, including rooftop   | <input checked="" type="checkbox"/> Other (explain) <u>masonry painting and pointing</u>               |
| <input type="checkbox"/> Extensive site work, adjacent new construction, or demolition of adjacent structures |  |

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## SECTION 5. SHPO EVALUATION

Explain the recommendation and any concerns, particularly issues checked in Section 4. Where denial is recommended, explain fully. For Part 3s, describe any work that differs substantially from the approved work. For Part 3s that do not meet the Standards as completed, describe remedial work, if any, that could enable the project to meet the Standards. Comment on notable aspects of the project, such as technical design innovations or creative solutions.

This project provides commercial and residential spaces in this historic commercial building. Exterior masonry (brick and granite) to be repointed and repainted, see condition. Historic window openings currently enclosed with brick or with non-matching later windows to be reopened to the historic size and simple six over six sashes are proposed based on the historic photo. We have a concern that the brickmold of these replacement windows is not consistent with typical windows of the period, but we note that there are clearly two planes of sashes and a putty bevel detail for the muntins that would minimally meet the Standards. The altered Third Avenue storefront to remain and be rehabilitated. We have concerns that the design for the new storefront in historic openings on Laurel Street is based on the later storefront alterations being retained. While we would typically recommend storefront with more traditional details, none of those details remain in the existing storefront in this secondary area.

On the interior, the building is divided by a circulation core. This basic plan organization is being retained, but the stair is to be altered to meet code and an elevator and support spaces are scheduled for this area. The significant and character-defining Art Deco pressed metal ceiling in the front mercantile space will be carefully removed, the ceiling will be lowered slightly for MEP and made fire-resistant, and the pressed metal ceiling reinstalled. Other interior finishes on the upper floors include beaded board and plaster, which will be retained or replaced with similar materials where missing or too deteriorated to retain. The rear area on the first floor and the upper floors will be adapted to residential units. The corridor spaces on the upper floors are being retained, although completely rebuilt in fire-resistant materials. This seems to be compatible given the extremely simple nature of the existing features.

Signage is not included in the text of the application, see condition.

We recommend preliminary certification of the proposed work with concerns and conditions.

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## SECTION 6. NATIONAL PARK SERVICE EVALUATION

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Date

National Park Service Signature



**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
NATIONAL PARK SERVICE  
CONDITIONS**

Historic Property Name Spivey Building Project Number 43464  
Property Address, City, State 1028 Third Avenue, Conway, SC

**The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:**

1. Repointing mortar must match the color, texture, strength, joint width and joint profile of the existing historic masonry. Techniques used to remove existing mortar must not damage the masonry units. Specifications and repointing samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work.
2. The process proposed for preparing the exterior masonry for repainting must not damage or substantially alter the physical characteristics of the masonry surfaces.
3. This approval does not extend to work not submitted, such as signage, details of which have not been submitted for review and approval to the State Historic Preservation Office and this office. Federal regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the overall project with the Secretary's Standards.

**Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.**

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

07/29/2021

Date

*Elizabeth M. Johnson*

State Historic Preservation Office Signature

**The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.**

Date

National Park Service Signature



**Historic Preservation Commission Decision Memorandum  
Horry County, South Carolina**

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Date: March 25, 2024  
From: Planning and Zoning  
Division: Infrastructure and Regulation  
Prepared By: Desiree Jackson, Senior Planner  
Cleared By: Rajiv Myana, Principal Planner  
Regarding: Hickory Grove Historic Marker

---

**ISSUE:**

What is the status of the Hickory Grove Marker?

**PROPOSED ACTION:**

Vote to allocate funds to purchase 1 additional marker this year.

**RECOMMENDATION**

Staff has no recommendation.

**BACKGROUND:**

SC Department of Archives and History is responsible for the States Historic Marker Program. Though markers interpret historic places, such as historic sites, structures, people of events, they are not an official historic preservation designation.

**ANALYSIS:**

The Historic Preservation Commission (HPC) voted at the November 27, 2023 meeting to start the process for a historic marker for the Hickory Grove Marker. SHPO finished the research and sent proposed text for the sign.

At the February 26, 2024 meeting the HPC voted to accept the marker statement provided by SHPO with the exception of a few typographical errors.

The HPC annual budget allows for the purchase of 2 markers a year, and that money has already been spent for this fiscal year.

**Historic Preservation Commission Decision Memorandum  
Horry County, South Carolina**

---

Date: March 25, 2024  
From: Planning and Zoning  
Division: Infrastructure and Regulation  
Prepared By: Desiree Jackson, Senior Planner  
Cleared By: Rajiv Myana, Principal Planner  
Regarding: Legacy Business

---

**ISSUE:**

What are the requirements to be recognized as a Legacy Business?

**PROPOSED ACTION:**

Direct staff to draft and ordinance to establish the criteria for Legacy Business Awards.

**RECOMMENDATION**

Staff has no recommendation.

**BACKGROUND:**

The Legacy Business Program was established in 2013, with the first businesses recognized in 2014. The only documented criteria for a Legacy Business is a business that has contributed to the historic economic fabric of Horry County for at least 50 consecutive years.

**ANALYSIS:**

The board previously discussed the following requirements to be drafted into ordinance.

To apply for the Business Legacy Program your business should meet a minimum of three (3) requirements.

Horry County Business Legacy Program

1. Minimum age of business: 50 years
2. Business owned by the same family for over 50 years
3. Business has been in the same location for 50 years
4. Business has the same name as when it began
5. Main business or a branch has been in Horry County for 50 years or more

These criteria will hold even if the following are met:

1. Business was sold to another person/family/entity



2. Business rebranded at some point and the name changed
3. Business relocated within Horry County
4. Business still owned by the family, but changed with the times and reorganized or diversified with other goods, services.

**Historic Preservation Commission Decision Memorandum  
Horry County, South Carolina**

---

Date: March 25, 2024  
From: Planning and Zoning  
Division: Infrastructure and Regulation  
Prepared By: Desiree Jackson, Senior Planner  
Cleared By: Rajiv Myana, Principal Planner  
Regarding: Historic Preservation Awards

---

**ISSUE:**

Who should receive nominations for Historic Preservation Awards?

**PROPOSED ACTION:**

Nominations for Award Recipients should be presented throughout the year.

**RECOMMENDATION:**

Vote on the final award recipients.

**BACKGROUND:**

May is National Historic Preservation Month and the HPC typically celebrates this month by hosting the Historic Preservation Awards.

Previous award recipients include:

**2007:** Mary Canty with MB Colored Schools; Henry Buck with the Buck Mill Chimneys; Jeanie Richardson & Duane Larson with the Hagood House; Genni Sasser, Susan McMillan, and Joann Milnore with the Rebecca Bryan House.

**2008:** Mary Alice Thompson with the Cemetery Project

**2009:** Tawnya Gray with the Cemetery Project; The Sun News: Mike Cherney & Robert Morris: Media Coverage of Historic Preservation; Elaine Gore with the Hammond-Edmonds Home; David Fisher for arch. survey of Woodstock Cemetery; Bill Darby with Alternatives Magazine

**2010:** Angela Calhoun with cemetery Project; Larry Paul & the L.W. Paul Living History Farm; William Lone; and Tempe Oehler

**2011:** Horry County Historical Society; Keith Edwards; Jamie Graham

**2012:** Bob Hood with Cemetery Project; Horry County Rough & Ready with Cemetery Project; Susan Perhala with Cemetery project; David Jordan for Franklin G. Burroughs home

**2013:** The Distinguished Men of Bucksport for Cemetery Project

**2014:** Ted & Connie Gragg for SC Civil War Museum; Lou & Rhonda Mascherino for Veteran's Café; Rich Ryals with Cemetery Project; Horry County Museum for Burroughs School Renovation

**2015:** Coastal District Garden Clubs of SC for Patriot Tree Project; Darryl Scott Ferguson for the Walter Stilley home; Adam Emrick; Carolyn Dillian; and Waccamaw Publishers

**2016:** Ben Burroughs; Herbert Riley; Jack Thompson; and Nye's Pharmacy

**2017:** O'Neal Smalls; Surfside Historical Society; Hillary Howard; Tommy Simpson; Graham Brothers Farm Supply; Sallie and William Goldfinch; and Tammi and Alex Hyman

**2018:** Jack Walker and Diane Moscow McKenzie for the Myrtle Beach Airbase; Dino Thompson for his books; David Douglas for his repurposing of historic structures; and Mary Catherine Hyman for her work as the BAR staff liaison.



**2019:** Catherine Heniford Lewis for her books and IRQ contributions; Barbara Stokes for her book; David Wilson for his books and historic research on African-American Schools; Jody Nyers for her work on the Board of Architecture and Historic Preservation; Surfside Historical Society for their historic marker placement; Market Common Military History Tour; Waikiki Village motel; and Shine Café

**2020:** Awards cancelled due to Covid.

**2021:** Association for the Betterment of Bucksport, Horry County Police Department, and Sons of Confederate Veterans for the Eddy Lake Cemetery Project; Roger Lewis Jackson Mann & Quinn for rehabilitating historic buildings; Mashburn Construction for the Darden Jewelers rehabilitation; Christopher Boyle for his books; Eldred Prince and Sam Dusenbury for time served on the HPC.

**2022:** Michael G. J. McShain, Steve Robertson, Dr. Carl Compton, Veronica Gerald Floyd, Marshall Craig Sasser

**2023:** Christy Douglas, Loris Historical Society, Friends of Chapin Memorial Library, John Harold Sketers, Mary Owens

### **ANALYSIS:**

Nominations for this year's awards are; 2023 Atlantic Beach Gullah Geechee Culture and Nature Festival, Atlantic Beach Digitization Project Team, Atlantic Beach Oral History Project Committee, Conway Architectural Salvage and Heritage Project, Dick Hester, An Evening at the Ocean Forest Hotel, Whittemore Racepath Historical Society, & Waccamaw Indian People. The awards ceremony will be held on May 20, 2024 at 5:30 pm, at the Government and Justice Center.



# Horry County Historic Preservation Award Nomination Form

We invite you to nominate projects, groups, individuals, artisans or construction professionals you believe are most deserving of this honor. Winners are recognized at an awards ceremony on May 20, 2024 at the Government and Justice Center, 1301 2nd Avenue, Conway, SC. (ENTRY DEADLINE IS February 29, 2024)

The 2023 Atlantic Beach Gullah Geechee Culture and Nature Festival.    Contacts Pat Mallett/Will Thomas

Nominee (Project/Group/Individual/Artisan/Construction Professional)

302 29th Avenue South Atlantic Beach SC 29522

Pat

Nominee's mailing address

Atlantic Beach SC Gullah Geechee Org

Nominee's phone # & email address

<https://atlanticbeachscgullahgeechee.org>

Website (if applicable)

Susan Platt

Site address (if applicable)

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

See Attached

## Release Authorization

The undersigned gives the Horry County Historic Preservation Commission (HPC) the absolute and unqualified right to use all images, videos, and other materials submitted (in whole or part) in whatever manner the HPC may desire, including (but not limited to) publicity, audio-visual presentation, and promotional purposes in perpetuity.

Release authorized by (please print)

Title

Signature

Date

Completed forms may be sent to Desiree Jackson at Horry County, 1301 2nd Ave. Suite 1D09, Conway, SC 29526 or emailed - [jacksond@horrycountysc.gov](mailto:jacksond@horrycountysc.gov)



**From:** [Susan Platt](#)  
**To:** [Jackson, Desiree](#)  
**Subject:** Historic Preservation Award Nomination for AB Gullah Geechee festival  
**Date:** Monday, February 26, 2024 3:13:58 PM

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**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

The *Atlantic Beach Gullah Geechee Culture and Nature Festival* was held June 23-25, 2023 to showcase Atlantic Beach, S.C., one of the last oceanfront black incorporated towns in America. Atlantic Beach residents Patricia Mallett and Wilbert Thomas had a vision to improve the image of the town; they recruited friends and neighbors to help make this vision a reality. It is the intention of Festival organizers to hold a similar Festival every two years. Afro-Fest, an earlier festival, was held in Atlantic Beach in 1994. The 2023 Festival attracted over 800 people from the region and received local and national media attention. It was supported by the Gullah Geechee Heritage Corridor Commission, the SC Humanities Council, the Visit Myrtle Beach Chamber of Commerce, Elliott Realty Charitable Community Fund, Gaylord and Dorothy Donnelley Foundation and the Charles Joyner Institute for Gullah and African Diaspora Studies at Coastal Carolina University among others.

The purpose of this Gullah Geechee Festival is to highlight and celebrate the historical relevance, self-sufficiency and tenacity of Atlantic Beach residents to survive and thrive through the decades of segregated beaches, oceanfront development and to preserve the culture and natural resources into the future.

This festival had an eclectic group of activities to showcase this town's history from the 1930's up to 1970's:

- A parade kicked off Saturday's festivities which honored some of the outstanding leaders in Atlantic Beach, motorcycle clubs that were founders and participants of the Memorial Day Bikers Weekend, policemen, and firetrucks and firemen from the town and the adjacent communities and local high school queens.
- Ron Daise, an internationally renowned Gullah Geechee storyteller was featured each day; he also sang Gullah songs and read from two of his latest books from his *Geechee Literature Series*.

- Sunn M'Cheaux, a native of Charleston, S.C. and the first and only Gullah language course instructor at Harvard University gave a talk explaining the value of the Gullah Geechee language and why it is so important to honor and protect this unique language.
- Cecil Williams lectured and explained his love of photography and how it developed into a lifetime career. He is today one of the oldest living photographers of the Civil Rights Era and also the founder of the South Carolina Civil Rights Museum in Orangeburg, S.C. He captured some of the most iconic images of the Civil Rights movement and was a photographer for *Jet* magazine, one of the oldest and longest lasting black magazines in America (1952 -2014).
- James Stephens III, actor, comedian and singer is the owner of the Asher Theater in Myrtle Beach. He was the emcee on Friday and Saturday, and singers from the Theater performed a *Motown Review*, including popular songs from the 1940's through 1970's.
- Other storytellers included Damon Fordham, a Gullah Geechee author from Mt. Pleasant, S.C. and Jacque Williams, who read from a children's books series.
- Arts and crafts were created by participants of all ages, including doll clothing, tribal face painting, hip hop and African fashion. These activities were facilitated by retired educator Marjorie McIver and Zenobia Harper, youth and adults.
- A beachside service was held on Sunday with Ron Daise reading from the Gullah Geechee Bible. Davina Lloyd greeted us with an African dance. Queen Quet, founder of the Gullah/Geechee Sea Island Coalition performed a libation ceremony on the oceanfront. **Jon Small was our drummer. We had two outstanding poets: Leniah Johnson and Mark Smith.**
- At least 50 students from Morehouse College volunteered their services throughout the weekend. Tendaji Bailey, Gullah Geechee Futures Project, and Mora Martin were their liaison along with several professors from Morehouse.
- Vendors Row provided a variety of Gullah foods, clothing, arts and crafts.



Programs for children were held in two local communities prior to the Festival: the Village Group in Plantersville, S.C. and a Literacy Program in Conway, S.C. The children had to create a project based on: *Change Gonna Come*, Envisioning the New Atlantic Beach Gullah Geechee Culture. Their project had to include a historical interpretation on Sam Cooke's song, *A Change is Gonna Come*, and they invited festival attendees to write their own stanzas and visions for the change that will come to Atlantic Beach and the county. The students presented their work at the Festival and then continued to develop their work into multimedia narratives to compete for prize awards. Majorie McIver, retired educator and Gullah culturist expert, and Zenobia Harper, Community Coordinator for the Joyner Gullah Geechee Institute at Coastal Carolina University directed this project.

In addition to the website: [https://atlanticbeachscgullahgeechee.org/?fbclid=IwAR2lcWHN6eJ0hu-KxeiV99yqk-tL7Go6fLHFIMCjSUsWuyv10\\_QbypeHshc](https://atlanticbeachscgullahgeechee.org/?fbclid=IwAR2lcWHN6eJ0hu-KxeiV99yqk-tL7Go6fLHFIMCjSUsWuyv10_QbypeHshc) and Facebook page: <https://www.facebook.com/AtlanticBeachSCGullahGeecheeFestival> billboards funded by Visit Myrtle Beach were located in the area.

Following are samples of media coverage of the Festival:

- <https://fb.watch/n-ufwD6sx0/>
- [https://www.myhorrynews.com/news/june-festival-will-celebrate-gullah-geechee-culture-in-atlantic-beach/article\\_40242b46-e9f1-11ed-abe8-bb2d94224781.html?fbclid=IwAR0KITAldWhujGL4ZDxRS9sqMRcvMXLZD8KelUPkrZ-UhIYpa3QZ\\_yM\\_Mrk](https://www.myhorrynews.com/news/june-festival-will-celebrate-gullah-geechee-culture-in-atlantic-beach/article_40242b46-e9f1-11ed-abe8-bb2d94224781.html?fbclid=IwAR0KITAldWhujGL4ZDxRS9sqMRcvMXLZD8KelUPkrZ-UhIYpa3QZ_yM_Mrk)
- [https://www.wmbfnews.com/2023/06/15/3-day-atlantic-beach-festival-aims-celebrate-gullah-geechee-culture/?fbclid=IwAR2hTxxlqGt9v5tCtsPWlYsv9OWjuDeF3yAuZaN70H\\_STGkl79vpWUA2bVk](https://www.wmbfnews.com/2023/06/15/3-day-atlantic-beach-festival-aims-celebrate-gullah-geechee-culture/?fbclid=IwAR2hTxxlqGt9v5tCtsPWlYsv9OWjuDeF3yAuZaN70H_STGkl79vpWUA2bVk)
- [https://www.myhorrynews.com/gallery/gullah-geechee-culture-and-nature-festival-in-atlantic-beach/collection\\_208050de-12b0-11ee-a825-dbedd6a64ddb.html](https://www.myhorrynews.com/gallery/gullah-geechee-culture-and-nature-festival-in-atlantic-beach/collection_208050de-12b0-11ee-a825-dbedd6a64ddb.html)
- <https://wpde.com/features/good-morning-carolinas/atlantic-beach-gullah-geechee-cultural-and-nature-festival-is-this-weekend>
- <https://www.wmbfnews.com/2023/06/23/atlantic-beach-gullah-geechee-festival-kicks-off-this-weekend/>
- [https://www.myhorrynews.com/news/what-to-expect-at-the-first-ever-atlantic-beach-gullah-geechee-festival/article\\_48ada81c-0c5d-11ee-af18-5b5bc182fadd.html](https://www.myhorrynews.com/news/what-to-expect-at-the-first-ever-atlantic-beach-gullah-geechee-festival/article_48ada81c-0c5d-11ee-af18-5b5bc182fadd.html)

- 

<https://www.myrtlebeachonline.com/news/local/article276363961.html>

Special thanks to:

- 

Radio Bahá'í 90.9 FM station provided live broadcasts and played music from the 1930's-1970's during the Saturday event. A special thanks to Mrs. Margene Willis, Cluster Team Director.

- 

Edward and Joe Ella McQueen, *World Community Magazine*, took photos and promoted the Festival on their website and in their monthly magazine.

- 

Alli Crandell, Director of the Athenaeum Press and Digital Initiatives at Coastal Carolina University wrote grants, created digital art, posters, bulletins, advertising, marketing and printing programs. Lori Winston Tuggles created our web site.

- 

Gregory Mallette and DJ Slide, DJ's for the festival who provided the sound system and music between performers on Saturday.

- 

Town of Atlantic Beach- Mayor Jake Evans, Town Manager- Benjamin Quattlebaum, John David, Josephine Isom, Jackie Gore, Edward Lamar Campbell- City Council Members, Joe Montgomery- Ex- Mayor, Town Secretary- Cheryl Pereira, Chief of Police - Chief Robinson, Carla and Kyndal Taylor original residency and our Code Enforcer- Michael Gore.

- 

Numerous committee members from the area donated their time and resources to organize, coordinate and manage the Festival. Special shout out to Gloria Robinson-Cooper, Gerri Bell, Irene Lum Cheong and Jaye Divine.





# Horry County Historic Preservation Award Nomination Form

We invite you to nominate projects, groups, individuals, artisans or construction professionals you believe are most deserving of this honor. Winners are recognized at an awards ceremony on May 20, 2024 at the Government and Justice Center, 1301 2nd Avenue, Conway, SC. (ENTRY DEADLINE IS February 29, 2024)

## The Atlantic Beach Gullah Geechee Culture and Nature Festival

Nominee (Project/Group/Individual/Artisan/Construction Professional)

Planning Committee - see the list of names in the email

Atlantic Beach Town Hall, 717 30th Avenue South

Nominee's mailing address

Nominee's phone # & email address

Atlanticbeachscgullahgeechee.org

Website (if applicable)

Site address (if applicable)

F. Denise Gibson Bailey

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

Over a fabulous weekend, June 23-25, 2023, this team reconvened an Atlantic Beach tradition the annual Gullah Geechee Culture and Nature Festival. Set on the beautiful Atlantic Ocean participants enjoyed a weekend of cultural experiences, nature exploration and educational opportunities, all focused on the rich gullah history in and around Atlantic Beach.

The planning team ensured that the participants were appropriate for all ages and the historical significance of this day in Atlantic Beach was not overlooked. The great planning of this team allowed for seamless activities, extraordinary presentation and exceptional fellowship and fun in the Gullah tradition. The garnered support from several sponsors, area visitor organization and of course

Coastal Carolina University. As a result of the success of this weekend, the community looks forward to it becoming an annual event.

### Release Authorization

The undersigned gives the Horry County Historic Preservation Commission (HPC) the absolute and unqualified right to use all images, videos, and other materials submitted (in whole or part) in whatever manner the HPC may desire, including (but not limited to) publicity, audio-visual presentation, and promotional purposes in perpetuity.

F. Denise Gibson Bailey

Release authorized by (please print)

Title

2/29/2024

Signature

Date

Completed forms may be sent to Desiree Jackson at Horry County, 1301 2nd Ave. Suite 1D09, Conway, SC 29526 or emailed - [jacksond@horrycountysc.gov](mailto:jacksond@horrycountysc.gov)

**From:** [F Denise Gibson Bailey](#)  
**To:** [Jackson, Desiree](#)  
**Subject:** Atlantic Beach Gullah Geechee Culture and Nature Festival Historic Preservation Nomination  
**Date:** Thursday, February 29, 2024 2:28:42 PM  
**Attachments:** [Atlantic Beach Gullah Geechee Culture and Nature Festival1.pdf](#)

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**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please find attached the nomination form for the Atlantic Beach Gullah Geechee Culture and Nature Festival.

A great article on the festival, including photos and interviews, can be found at:

[Page 17 | North Strand News e-Edition | myhorrynews.com](#)

This nomination is for the entire planning committee, as the form does not allow for the names of all the team members, I am listing the names below.

Pat Mallett, Convener

Will Thomas, John David, Jaye Divine, Diane Hill, Brenda Bromell, Joe Montgomery, Laura Winston-Tuggles, Zinova Harper, Greg Mallett, Marjene Willis, Allie Crandle, Davina Lloyd, Marjorie McIver, Ron Daise and Tendaji Bailey



# Atlantic Beach holds its first Gullah Geechee Culture Festival

BY MICHAEL CURRY  
INFO@MYHORRYNEWS.COM

Atlantic Beach's first ever Gullah Geechee festival was held last month, bringing locals, vendors and special guests to celebrate the culture.

Guests included Sunn M'Cheaux, an instructor of Gullah at Harvard University, Ron Daise, a Gullah storyteller, actor and author, and James Stephens III, owner of the Asher Theater and famous performer in his own right also known as The Man with a Thousand Voices.

These three led the main stage programs Saturday, each with their own segment discussing the culture or performing.

The festival relied on sponsors to raise money to fund the event.

One sponsor was the Gullah Geechee Cultural Heritage Corridor National Heritage Area.

Angel Parsons, program coordinator at the organization, said the Atlantic Beach community and Gullah Geechee go hand-in-hand and the organization was glad to be a part of the festival and future endeavors to build the community.

"This community is incredible and very important to us," she said. "Besides Black Pearl they also used to call this Black Gold and we want to help bring the gold back, it's been a pleasure to sponsor."

"We came out here to share the culture and ways of life with the community and stimulate the area," Parsons said.

The "purpose of the Gullah Geechee Cultural Heritage Corridor NHA is to preserve, share and interpret the history, traditional cultural practices, heritage sites, and natural resources associated with Gullah Geechee people of coastal North Carolina, South Carolina, Georgia and Florida," according to its website.

Local artisan and doll maker Beverly Hill was interested in learning more about the culture and ended up becoming a vendor after making contact with the festival organizers.

"I saw a poster for the festival and I wanted to come and learn about the



PHOTOS BY JANET MORGAN | JANET.MORGAN@MYHORRYNEWS.COM

Alpha Kappa Alpha Sorority was featured in the Gullah Geechee Culture and Nature Festival parade in Atlantic Beach on June 24.

Gullah Geechee culture and then I became a vendor here for it," Hill said. "I think it's important that Atlantic Beach came together and connected again over this."

Hill's booth showed off her artwork and handmade dolls as well as homemade lemonade and bakery items.

Some Atlantic Beach locals were also proud to have the festival in their town, reminiscing about how it almost felt like in the prime of the town's history.

Carla Taylor, an Atlantic Beach native,

said she remembers growing up and seeing all the people and businesses around.

"I caught the tail end of the heyday, we had clubs, restaurants, hotels and retail shops," Taylor said.

Taylor said that as part of the Gullah Geechee Nation, her mother's family can trace their ancestry to the mid 1800s to Atlantic Beach and the area.

She said she loves that the festival was held in Atlantic Beach and that hopefully it's a fresh start to revitalizing the area.

"Seeing families move back in, it's great to see, its like how it was when I was a kid," she said. "This festival embodies that respect for the heritage and ancestry and it feels like I've come full circle being here again."

"Being here is paying homage to my culture and I can put a name to it, I was born in to it. Growing up, we didn't call our way of life Gullah Geechee we were just us," Taylor said.

The festival ended after a morning service.



People enjoy the Gullah Geechee Culture and Nature Festival parade in Atlantic Beach on June 24.



The festival continued Sunday with a beachside service, poetry and drumming.





# Horry County Historic Preservation Award Nomination Form

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## Atlantic Beach Digitization Project Team

Nominee (Project/Group/Individual/Artisan/Construction Professional)

Alice Graham, Linda Cheatham, Matthew Bailey

Nominee's mailing address

Atlantic Beach Town Hall, 717 30th Avenue South

Nominee's phone # & email address

Website (if applicable)

Site address (if applicable)

**F. Denise Gibson Bailey**

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

The Atlantic Beach Oral History project demonstrated that many artifacts and special items were being housed in the homes of residents and friends, who did not want to part with the items. In a effort to preserve the Town's historical data, a grant from the Gaylord & Dorothy Donnelly Foundation in Charleston, SC was secured to preserve the Town's history. Understanding the demographics of the community - age, place of residence and comfort with technology, the team developed and managed a traveling digitization studio. Members visited the home of each community member allowing them to share and discuss the items and watch while the items were being digitized. There was initial concern about the project, however, this level of comfort allowed for the pool of participants to grow as a result of word of mouth sharing. Everyone wanted to share! During phase one of this process the team digitized and categorized using the themes for the Telling the Full History grant, over 800 items. The work of this team is providing the basis for the development of an Atlantic Beach museum plan.

### Release Authorization

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**F. Denise Gibson Bailey**

Release authorized by (please print)

Title

Signature

Date

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# Horry County Historic Preservation Award Nomination Form

We invite you to nominate projects, groups, individuals, artisans or construction professionals you believe are most deserving of this honor. Winners are recognized at an awards ceremony on May 20, 2024 at the Government and Justice Center, 1301 2nd Avenue, Conway, SC. (ENTRY DEADLINE IS February 29, 2024)

## The Atlantic Beach Oral History Project Committee

Nominee (Project/Group/Individual/Artisan/Construction Professional)

Town Hall - 717 30th Avenue South

Alice Graham, Pat Mallett, Helen Pierce and Rose Rucker

Nominee's mailing address

Atlantic Beach, SC 29582

Nominee's phone # & email address

The Atlantic Beach Historic Committee

Website (if applicable)

F. Denise Gibson Bailey

Site address (if applicable)

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

In March 2022, Atlantic Beach received a grant as a part of the Telling the Full History Project from the

National Trust for Historic Preservation. The purpose of this historical grant was to begin the documentation

of the Atlantic Beach history with an oral history project. In Atlantic Beach, like in many

small African American communities, much of the history is still oral. This project was

designed to have candid conversations with Town residents, friends and former visitors

to gather historic data. Hundreds of hours of conversations were convened by this team, interviewing all ages and from across the country.

In person, Zoom and online interviews were used. After review and compilation of the data, the five major themes from the conversations

were agreed upon and presented to the community by this team. The themes will be used as a basis for future work.

This team has provided an extraordinary foundation for the continued collection and categorizing of the historical data for the Town.

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F. Denise Gibson Bailey

Release authorized by (please print)

Title

2/29/2024

Signature

Date

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Conway Architectual Salvage and Heritage Project

Nominee (Project/Group/Individual/Artisan/Construction Professional)

700 15th Ave Conway SC 29528

info@conwaysalvage.org

Nominee's mailing address

conwaysalvage.org

Nominee's phone # & email address

Website (if applicable)

Susan Platt

Site address (if applicable)

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

SEE ATTACHED

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emailed - jacksonsd@horrycountysc.gov



Conway Architectural Salvage and Heritage Project was formed in the summer of 2022 when the need for materials to repair a historic home were not available. Brain child of Adam Todd became a reality with help from the community. Since the inception CASHP has deconstructed the Way House in which 200 tons of material were reused and recycled which would have otherwise ended up in the landfill.

They also have secured the Ice House which was build est. 1946. The Ice House was located in an area that served as the industrial portion of Conway during the post WWII era. The Ice house was previously owned by Horry Ice Company. The original business was owned and operated mostly by Veterans of the second World War.

Not only did they saved the Ice House structure but are working with current owner of McIver's Lumber Company which is located directly beside the Ice House with efforts to place that structure as well in preservation. McIver Lumber served Horry County for over 100 years and was too owned and operated by World War II veterans.

They are working to also establish a historic district in the area. Stilley Plywood Company and an Oil Company were also located in the area. The homes surrounding the industrial area were also built in the forties and fifties and served as housing for employees of the surrounding buildings.

It is because of these preservation efforts that I nominate Conway Architectural Salvage and Heritage Project for a Horry County Historic Preservation Award





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Dick Hester

Nominee (Project/Group/Individual/Artisan/Construction Professional)

516 Princess Ann Drive

Nominee's mailing address

HMB SC 29582

Website (if applicable)

Heath Platt (HCHPC)

Nominator (The nominator's identity is not disclosed)

Nominee's phone # & email address

Site address (if applicable)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

On March 10<sup>th</sup>, 2005, Dick Hester, envisioned a museum to display and collect the history of the city of North Myrtle Beach. He is a former mayor of the city of HMB, and served as ~~the~~ the museum's first chairman for several years. He has been a resident ~~of HMB~~ since 1956 of Ocean Drive then HMB after the four local towns merged in 1968. He has been a big driver of the HMB community in its efforts to save its history.

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An Evening at the Ocean Forest Hotel / Dino Thompson, Jack Thompson / Tina Corley, Jen Nassar, Mark Kruea, Bo Bryan, Stuart Butler, John Muse

Nominee (Project/Group/Individual/Artisan/Construction Professional)

400 14th Ave N. Myrtle Beach, SC 29577

843-446-0800 friendsofcml@chapinlibrary.org, tinacorley@gmail.com

Nominee's mailing address

Nominee's phone # & email address

<https://www.chapinlibrary.org/friends>

<https://www.facebook.com/FofCML/>

Website (if applicable)

Joel Carter

Site address (if applicable)

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

Please see attached page.

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Tina Corley

President - Friends of Chapin Memorial Library

Release authorized by (please print)

Title

1/30/2024

Signature

Date

Completed forms may be sent to Desiree Jackson at Horry County, 1301 2nd Ave. Suite 1D09, Conway, SC 29526 or emailed - [jacksond@horrycountysc.gov](mailto:jacksond@horrycountysc.gov)

For decades, the Ocean Forest Hotel stood as a beacon of elegance and grandeur, playing a significant role in the rich tapestry of our local Myrtle Beach history. Sadly, the hotel faced financial struggles and ultimately destruction, and its memories risked fading into obscurity. Dino Thompson and Jack Thompson, two passionate individuals deeply connected to the Ocean Forest Hotel, have tirelessly worked to ensure that its legacy endures for generations to come.

The duo's commitment to historical preservation is evident through their engaging history talk – An Evening at the Ocean Forest Hotel, where they shared not only the architectural and cultural significance of the Ocean Forest Hotel but also the personal stories and memories associated with it. Their presentations served as a powerful catalyst, sparking memories among long-time residents, and providing a captivating educational experience for newcomers to our community.

Dino and Jack have gone above and beyond to collect and curate a treasure trove of photographs, artifacts, and oral histories related to the Ocean Forest Hotel. Their dedication to preserving the tangible and intangible aspects of this landmark has been instrumental in creating an immersive narrative that resonates with our community, long after the loss of the physical structure.

Through their efforts, the Ocean Forest Hotel has found a renewed place in our collective consciousness, fostering a deeper appreciation for the historical significance of the structure and the era it represented. The impact of their work extends beyond nostalgia, contributing significantly to the cultural identity and sense of place within our community.

Event contributors:

Dino Thompson – Speaker

Jack Thompson – Speaker

Bo Bryan – Myrtle Beach Poet Laureate, original poem reading featuring the Ocean Forest Hotel

Mark Kruea - Emcee

Tina Corley – Organizer – Friends of Chapin Memorial Library

Jen Nassar – Organizer – Chapin Memorial Library

Stuart Butler and John Muse - Media recording - MB Chamber of Commerce


The recording of the presentation from 1/22/2024 An Evening at the Ocean Forest Hotel featuring Dino Thompson and Jack Thompson can be found at the following link.

<https://www.facebook.com/FofCML/>










## AN EVENING AT THE OCEAN FOREST HOTEL

PRESENTED BY:  
**JACK THOMPSON & DINO THOMPSON**

**JAN 22, 2024**  
**AT THE HISTORIC**  
**MYRTLE BEACH TRAIN DEPOT**

with emcee Mark Kruea  
 and opening reading by Bo Bryan,  
 Myrtle Beach Poet Laureate



Co-hosted by Chapin Memorial Library and The Friends of Chapin Memorial Library.  
 Friends of CML member reception 5:00 pm - 5:45 pm, doors open for general admission at 5:45 pm.  
 The evening program will begin at 6:00 pm.  
 Friends Members RSVP to [friends@cml@chapinlibrary.org](mailto:friends@cml@chapinlibrary.org) to attend the reception.

Become a Friend of CML for early entry to this event, membership is \$10 for an individual for the year (Oct-Sept) or \$100 for a lifetime membership.  
 Complete your membership by registering and paying at the library front desk or online at [chapinlibrary.org/friends-membership](http://chapinlibrary.org/friends-membership)







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The Whittemore Racepath Historical Society

Nominee (Project/Group/Individual/Artisan/Construction Professional)

PO Box 1096 Conway SC 29528

Nominee's mailing address

whittemorehistorical.org

Nominee's phone # & email address

Contact Cheryl Adams

Website (if applicable)

Susan Platt /Patt Mallet/Alan Todd

Site address (if applicable)

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

SEE ATTACHED

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**Whittemore Racepath Historical Society, Inc.**, a 501 c 3 nonprofit organization, was founded in Conway, South Carolina in August of 2021 with the **goal** of saving the historic Whittemore Elementary School from demolition and to develop it into a viable community center in collaboration with the City of Conway, Coastal Carolina University, the Gullah Geechee Cultural Heritage Corridor, and other interested parties. Our **mission** is to preserve, revitalize, and maintain historical sites of meaning to African American communities throughout Horry County, South Carolina as well as to showcase African American cultural heritage and the contributions of Whittemore Alumni throughout the United States. Our **purpose** is to procure and preserve whatever may relate to the rich African American history throughout Horry County, South Carolina and the contributions of African American and Whittemore Alumni throughout the United States; to acquire by gift or donation, purchase or otherwise, buildings and other structures, collections of art and artifacts of historical significance to African Americans; to renovate, repair, and preserve the same for the benefit of the public; and to charge, collect, solicit, and receive funds, donations, grants, and property – real and personal – to promote such purposes.

Our organization is comprised of individuals, families, and community members who were former students, faculty, and staff of the Whittemore Elementary School who are committed to the African concept of Sankofa, which literally means *“it is not taboo to fetch what is at risk of being left behind.”* We believe that we must retrieve our past history to enrich our quest for meaning and movement in the present in order to give wisdom and hope to future generations.

The Whittemore Racepath Historical Society’s first project was to save Whittemore Elementary School (WES) , an historic equalization school built in 1954. WES had previously been the only school Blacks had been allowed to attend up to the early 1970's in Conway, South Carolina. After being deeded the property by Horry County Schools the City of Conway promised the community that the school would be refurbished and turned into a community center. WES had been a central part of the community and had been rich with the talents of the teachers and other staff at the school After storms and other weather conditions damaged the site, little or no construction was done to protect or mothball the school. Subsequently, the city decided to demolish the school without going back to the community to let their decision be known.

It was after the meeting with the community, which had been put together by leaders from the community, that the Whittemore Racepath Historical Society was born. The organization immediately sprang into action contacting town officials, Whittemore alumni, and other interested parties to stop the demolition. Based on all of the actions of the organization in conjunction with the community, the mayor and the council decided to create a request for proposal (RFP) which would be sent out and WRHS as well as other individuals or organizations would have an opportunity to apply for the site. The organization incorporated and hired an architect as well as an investor developer to assist with the proposal for the site. As a result, the organization submitted its proposal to the city which, in fact, was the only one submitted.



Unfortunately, two weeks later the structure caught fire mysteriously and the remaining portion of the structure had to be torn down. The city decided at that time that since the structure was no longer there, there was no need for the RFP and immediately rescinded the request for proposal. The city then proposed creating a task force made of different organizations and individuals to find the best recommendation for this site. The Whittemore Racepath Historical Society was able to have two people on the task force to work to produce a viable plan for the community and city. The organization has never given up hope and has continuously attended all of the city council meetings and other meetings that could have an impact on this project.

The Whittemore Racepath Historical Society, Inc. has expanded its endeavors to include locating historical sites in the community and the county. Although our initial plan has changed, we are determined to continue the struggle to educate people regarding the significance that African American people have in this community and to preserve historical sites.



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Waccamaw Indian People

Nominee (Project/Group/Individual/Artisan/Construction Professional)

Aynor SC 29511

Nominee's mailing address

Nominee's phone # & email address

Website (if applicable)

Site address (if applicable)

Susan Platt

Nominator (The nominator's identity is not disclosed)

Nominator's phone # & email address (in case we need more information)

Describe or list the accomplishments, history, work, and achievements of the project/group/individual/artisan/construction professional, being nominated that have contributed to the historic preservation of Horry County, and the reasons why the nominee deserves this award. Attach additional information on a separate sheet if necessary. (Attach images, videos and any other material you feel is relevant)

For over thirty years the Waccamaw Indian People have hosted a cultural event the annial PauWau.

Also they host outreach programs through the schools and on April 16th will open an educational

Wildlife trail.

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2024 SC Historic Preservation Conference  
SC Archives & History Foundation  
8301 Parklane Road  
Columbia, SC 29223



Thank you to our conference sponsors!



2024 HISTORIC PRESERVATION CONFERENCE REGISTRATION

2 Ways to Register

- 1. By mail and check: Fill out and mail the registration form with your check payable to the SC Archives & History Foundation (FEIN 57-0955680).
- 2. Register and pay online with a credit card at <https://form.jotform.com/80445778222965>

- ☐ Early Bird Registration received on or before March 31.....\$50
- ☐ Regular Registration received between April 1-15.....\$65
- ☐ Registration received between April 16-26.....\$85
- ☐ Student rate (Please include photocopy of current student ID).....\$25

Mail to:  
2024 Historic Preservation Conference  
SC Archives & History Foundation  
8301 Parklane Road  
Columbia, SC 29223

REGISTER EARLY  
SPACE IS LIMITED

All cancellations or refund requests must be made in writing. Cancellations received on or before April 15, 2024 will receive a 50% refund. Cancellations received after April 15, 2024 will not be refunded. A minimum \$15 administrative fee will be applied to all refunds for cancellations. Email cancellations and refund requests to [dfoster@scdah.sc.gov](mailto:dfoster@scdah.sc.gov). No cancellations will be accepted by phone.

The activity that is the subject of this publication has been financed in part with federal funds from the National Park Service (NPS), US Department of the Interior, and administered by the SC Department of Archives & History (SCDAH). However, the contents and opinions do not necessarily reflect the views or policies of NPS or SCDAH. This program receives federal financial assistance for identification and protection of historic properties. Under Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, and the Age Discrimination Act of 1975, as amended, the U. S. Department of the Interior prohibits discrimination on the basis of race, color, national origin, disability, or age in its federally assisted programs. If you believe you have been discriminated against in any program, activity, or facility as described above, or if you desire further information please write to: Office of Equal Opportunity, National Park Service, 1849 C Street, NW, Washington DC 20240.

Registration Form PLEASE PRINT CLEARLY

Name \_\_\_\_\_  
Organization \_\_\_\_\_  
Address \_\_\_\_\_  
City / State / Zip \_\_\_\_\_  
Phone \_\_\_\_\_  
E-mail \_\_\_\_\_

Lunch will be provided. Please check here for a vegetarian lunch ☐  
This is my first SC Historic Preservation Conference ☐

For more information contact Donna Foster at 803-896-0339,  
[DFoster@scdah.sc.gov](mailto:DFoster@scdah.sc.gov).



South Carolina  
Historic Preservation  
Conference 2024

Friday, April 26, 2024

PRESENTED BY



Join us for the South Carolina Historic Preservation Conference featuring a wide range of topics on South Carolina history, historic properties, and current historic preservation issues.

Conference Location:

SC Archives & History Center - 8301 Parklane Road - Columbia, SC 29223

The SC Archives & History Center is located near the intersection of I-20 and I-77. Find directions and a map at <https://scdah.sc.gov/about-us/how-find-us>. Free parking is available in the front and side parking lots.



# SCHEDULE OF EVENTS

Friday, April 26, 2024    Registration 8:30 – 9:00 AM

### SESSION 1: 9:00-9:50 AM

#### Columbia’s Main Street Renaissance \*

Learn how the Columbia Historic Commercial District listing in the National Register of Historic Places catalyzed an economic and cultural renaissance in Columbia’s downtown. Empowered by several financial incentives, home-grown and newly arrived investors transformed previously dilapidated and under-utilized buildings into commercial, residential, and entertainment destinations. Speakers representing applicants, preservation organizations, and the city will highlight their roles in the transformation. From money matters to design and construction to advocacy and regulatory enforcement, each of these preservation practitioners will provide insights into this 21<sup>st</sup>-century urban shift.

#### Film and Historic Sites: Best Preservation Practices

Films and television serials that utilize local places and spaces can stimulate economic growth with jobs, local rental income, and future tourism. Alexandra Green, architectural historian with Edwards-Pitman Environmental, will discuss how historic sites can protect themselves while serving as film locations, and how to take advantage of the tourism that can come from being a film location without compromising their message and mission statement. The session will examine the merits of using film tax incentives from the perspective of the location, how to protect sites during filming using case studies, and how to approach a new audience after film crews have left and film tourists remain.

### SESSION 2: 10:00-10:50 AM

#### How an Unlikely Team Protected an Historic African American Cemetery

Hear the compelling story of how two self-taught genealogists, Kimberly N. Morgan and Akousa Moore, and one federal government employee, Gary Herndon of the Marine Corps Air Station, came together to research, protect, and preserve a historic African American cemetery. The story starts with the discovery of a tombstone deep in the woods of a military base and culminates in a reunion hosted on the base with over 100 descendants from across the United States. It will also show how others can conduct similar research and employ similar strategies for projects in their own communities.

#### You Got the Money Honey, Now What?: Grant Requirements, Reporting, and Easements \*

The measure of grant-funded success often focuses on receiving the grant award. But what comes after accepting the grant has important consequences for your project, and can impact future grant opportunities. Join Marla Collum of the National Park Service, staff from the SC State Historic Preservation Office, and a grant recipient, to understand how to avoid pitfalls and ensure a successful grant project. Topics include types of bids and how to seek them, grant agreements, meeting preservation standards, selecting

contractors, easements, compliance with NEPA, Section 106 and Section 110, and grant close out. Learn more about responding to federal and state requirements and seeking guidance from your grant manager. Information from this session will be applicable to other funding sources.

### SESSION 3: 11:00-11:50 AM

#### Current Research in Historic Preservation

Students in the Clemson University Graduate Program in Historic Preservation will share brief summaries of their research on a wide range of topics in a series of fast-paced presentations, from technical preservation to policy issues to historic research in the Lowcountry and beyond. Amalia Leifeste, Program Director, will serve as the moderator.

#### Protecting Bluffton Using Historic Preservation Grants \*

The Town Council of Bluffton recently adopted a local Historic Preservation Grant Program to assist owners of town-designated contributing structures within the Old Town Bluffton Historic District to rehabilitate, restore, or preserve their structures, and to prevent those structures from being lost to disrepair or abandonment. Glen Umberger, the Town’s Historic Preservationist, will give an overview of the program that to date has awarded more than \$125,000 in grants for preservation projects including foundation repairs to an historic schoolhouse, exterior restorations of an 1840s house and an 1890s commercial building, repairs to the front porch and stoop of a 1930s cottage, and reconstruction of the roof of Bluffton’s former 1960s-era post office.

#### Archives Tour

Curious about the collections and how to do research at the Archives & History Center? Take a behind-the-scenes tour of the archives, and get tips on how to conduct research in the collections.

### LUNCH: 12:00-1:00 PM

Lunch will be served in the Proprietor’s Hall outside of the meeting rooms and auditorium. Seating will be available in the meeting rooms and lobby areas. Weather permitting, seating will also be available outside in the garden.

### AUDITORIUM DEDICATION: 1:00-1:20 PM

Join us in the Auditorium for a very special ceremony to dedicate the SC Archives & History Auditorium in memory of William L. Kinney, Jr., of Bennettsville, the long-serving chair of the State Review Board for the National Register of Historic Places and vice-chair of the SC Archives & History Commission. With his charm and enthusiasm for history, Mr. Kinney exemplified how to be a great advocate and ambassador for historic preservation and historic places in South Carolina.

### SESSION 4: 1:30-2:20 PM

#### Celebrating SRS at 75

Located along the Savannah River in South Carolina, the Savannah River Site, which will turn 75 in 2025, brought enormous cultural and economic changes to the region. Mary Beth Reed of New South Associates will present a brief history of the site, its role in the Cold War, and regional impact. Dr. Keith Stephenson, director of the Savannah River Archaeological Research Program and Josh Blackmon of New South Associates will describe the site’s archaeology and preservation programs, highlighting successes and lessons learned. Susie Ferrara with Savannah River Nuclear Solutions will share a “how to” guide to help communities plan events such as anniversaries.

#### Economic and Community Revitalization: Preservation of African American Heritage

This session will present innovative ideas for community development and highlight the importance to communities of preserving historic and cultural landmarks, particularly those related to African American Civil Rights. Learn about current initiatives in Orangeburg, including the rehabilitation of the All Star Bowling Lanes, and redevelopment of Railroad Corner (the original black business district). Ellen Zisholtz with the Center for Creative Partnerships, Robert Jenkins with Renaissance Equity Partners, and James Alvey from the National Park Service will focus on funding sources, collaboration, and partnerships needed for these projects.

### SESSION 5: 2:30-3:20 PM

#### From Vision to State Park: Rosenwald School Study

Rosenwald Schools played a vital role in educating African American children starting in the 1920s. Learn about the work currently underway to determine whether a set of extant Rosenwald School sites could become South Carolina’s first state park focused on African American and Jewish history. Speakers from the project team will discuss processes for engaging with alumni and community stakeholders, assessing site integrity, and designing a plan that shares this important history with the public.

#### Disaster Recovery for Historic Structures and Sites \*

In recent years, the accessibility of information on disaster preparedness and recovery for historic properties and cultural institutions has grown significantly, but funding for supplies, training, and resiliency upgrades is not keeping pace with the need. Craig Bennett of Bennett Preservation Engineering will give a brief overview of disaster damage to historic buildings, then go into the stages of disaster recovery, including pre-disaster planning, immediate post-disaster response, and long-term recovery, focusing on the finances of disaster recovery, especially on fair insurance settlements. Trish Smith of Drayton Hall Preservation Trust will share her insights from fourteen years of disaster preparedness and recovery at Drayton Hall, including budgeting and fundraising strategies, tips from first responders, and templates for a “Go-Time Responsibilities Chart,” and EMD-approved dash passes to access your site when it is behind emergency barricades.

**SAVE THE DATE**  
**for these upcoming SC Archives & History Foundation events:**

September 12, 2024: 3<sup>rd</sup> Annual Preserving Historic Cemeteries Workshop

November 16, 2024: 6<sup>th</sup> Annual American Revolution Symposium

For more details visit:  
<https://scarchivesandhistoryfoundation.org/category/news-events/>

### MISSION STATEMENT

The South Carolina State Historic Preservation Office (SHPO) encourages and facilitates the responsible stewardship of South Carolina’s irreplaceable historic and prehistoric places. The SHPO administers the Statewide Survey of Historic Properties, historical markers, National Register of Historic Places, tax incentives for historic buildings, Section 106 and related state reviews, Federal Historic Preservation Fund sub grants, Historic Preservation State Grant Fund, and the Certified Local Government program.

The SC Archives & History Foundation provides support for the programs and services of the SC Department of Archives & History, which preserves the public records and cultural history of the Palmetto State. Since 1993, the Foundation has raised public awareness and donations for the agency’s mission. The Foundation’s most notable endeavor was its successful capital campaign to help fund the construction of the SC Archives & History Center, the home of the SC Department of Archives & History.

*Local government staff and architectural review board members may receive SCPEAC continuing education credit for training required by SC Code 6-29 Article 9 (\* denotes eligible sessions).*

